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McCHESNEY RESIDENCE

GENERAL NOTES:

- UNLESS NOTED OTHERWISE, ALL EXISTING CONSTRUCTION IS TO REMAIN.
- THE WORK CONTAINED IN THESE CONSTRUCTION DOCUMENTS SHALL BE PERFORMED UNDER AIA DOCUMENT A201 "GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION" (LATEST EDITION).
- THE INFORMATION CONTAINED ON THE CONSTRUCTION DOCUMENTS IS IN ITSELF INCOMPLETE AND VOID UNLESS USED IN CONJUNCTION WITH ALL THE CONTRACT DOCUMENTS AND WITH ALL THE ARCHITECT'S AND MANUFACTURER'S SPECIFICATIONS, TRADE ASSOCIATION RECOMMENDATION, ACCEPTED ENGINEERING AND CONSTRUCTION PRACTICES, AND APPLICABLE STANDARDS, CODES, ETC., INCORPORATED THEREIN BY REFERENCE WHICH THE CONTRACTOR CERTIFIES KNOWLEDGE OF BY SIGNING THE CONTRACT.
- CONTRACTOR IS TO ASSUME FULL RESPONSIBILITY, UNRELIEVED BY REVIEW OF SHOP DRAWINGS AND BY PERIODIC OBSERVATION OF CONSTRUCTION BY THE ARCHITECT, FOR COMPLIANCE WITH THE CONTRACT DOCUMENTS, FOR DIMENSIONS TO BE CONFIRMED AND CORRELATED ON THE JOB SITE BETWEEN INDIVIDUAL DRAWINGS OR SETS OF DRAWINGS FOR FABRICATION PROCESS AND CONSTRUCTION TECHNIQUES (INCLUDING EXCAVATION, SHORING, SCAFFOLDING, BRACING, ERECTION, FORMWORK, ETC.), FOR COORDINATION OF THE VARIOUS TRADES, AND FOR THE SAFE CONDITIONS ON THE JOB SITE.
- THE ARCHITECT SHALL NOT HAVE CONTROL OVER OR CHARGE OF AND SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES OR FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK SINCE THESE ARE SOLELY THE CONTRACTOR'S RESPONSIBILITY UNDER THE CONTRACT FOR CONSTRUCTION. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR THE CONTRACTOR'S SCHEDULES OR FAILURE TO CONTROL OVER OR CHARGE OF ACTS OR OMISSIONS OF THE CONTRACTOR, SUBCONTRACTORS, OR THEIR AGENTS OR EMPLOYEES, OR OF ANY OTHER PERSONS PERFORMING PORTIONS OF THE WORK.
- DO NOT SCALE OFF OF DRAWINGS; USE WRITTEN DIMENSIONS ONLY. IF DIMENSION IS MISSING OR INACCURATE, CONSULT WITH THE ARCHITECT IMMEDIATELY.
- DETAILS NOT SHOWN ARE SIMILAR IN CHARACTER TO THOSE DETAILED. WHERE SPECIFIC DIMENSIONS, DETAILS OR DESIGN INTENT CANNOT BE DETERMINED, CONSULT WITH THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.
- THE CONTRACTOR WILL BE RESPONSIBLE FOR REPLACING ANY ITEMS DAMAGED DURING CONSTRUCTION.
- CONTRACTOR TO VERIFY, IN EVERY RESPECT, EXISTING CONDITIONS AS SHOWN ON THE ARCHITECT'S DRAWINGS. CONTRACTOR SHALL NOTIFY ARCHITECT OF ALL DISCREPANCIES OR OMISSION BETWEEN PLANS AND EXISTING FIELD CONDITIONS IMMEDIATELY. WORK SHALL BE STOPPED UNTIL WRITTEN PERMISSION FROM THE ARCHITECT AND OWNER IS OBTAINED.
- CONTRACTOR SHALL DETERMINE DURING THE BIDDING PROCESS WHETHER PROPER EXECUTION OF THE WORK INVOLVES ADDITIONAL WORK WITHIN OR OUTSIDE THE CONTRACT LINE. THE EXTENT, COST, AND NATURE OF SUCH WORK SHALL BE MADE KNOWN TO THE ARCHITECT PRIOR TO THE ACCEPTANCE OF BIDS.
- CONTRACTOR IS RESPONSIBLE FOR REMOVING OR RELOCATING ALL CONDUIT PLUMBING AND OTHER MISCELLANEOUS PIPES IN ORDER TO ACHIEVE NEW CONSTRUCTION, WHETHER OR NOT PIPES ARE SPECIFICALLY SHOWN ON THE PLANS.
- ARCHITECT'S APPROVAL MUST BE SECURED IN WRITING FOR ALL SUBSTITUTIONS. IF ARCHITECT'S APPROVAL IS NOT OBTAINED, THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR ANY RELATED REPERCUSSIONS ISSUING FROM THE SUBSTITUTION.
- DUST BARRIERS AND SAFETY BARRICADES SHALL BE INSTALLED TO PROTECT SURROUNDING AREAS NOT INCLUDED IN CONTRACT WORK. DUST PARTITIONS SHALL BE RELOCATED AS REQUIRED AS THE PROJECT PROGRESSES.
- THE GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL MAINTAIN THROUGHOUT THE CONSTRUCTION PERIOD WORKMAN'S COMPENSATION, COMPREHENSIVE GENERAL LIABILITY, AND OTHER APPLICABLE INSURANCE COVERAGE. THE CONTRACTOR SHALL HAVE AN ENDORSEMENT CONTAINED NAMING THE OWNER AND ARCHITECT AS ADDITIONAL INSURED.

ABBREVIATION LEGEND

⊙	AT
A.F.F.	ABOVE FINISHED FLOOR
BOT.	BOTTOM
CL	CENTERLINE
CONC.	CONCRETE
CONT.	CONTINUOUS
EA.	EACH
EL.	ELEVATION
EQ.	EQUAL (DIMENSION EQUAL TO THE OTHER DIMENSION(S) MARKED EQ.)
EX.	EXISTING
F.LR.	FLOOR
GYP. BD.	GYPSUM BOARD
MAX.	MAXIMUM
MIN.	MINIMUM
MTL.	METAL
NIC.	NOT IN CONTRACT
O.C.	ON CENTER
OPP.	OPPOSITE HAND
PLYWD.	PLYWOOD
REQ.	REQUIRED
SIM.	SIMILAR
S.S.	STAINLESS STEEL
STL.	STEEL
T&G	TONGUE & GROOVE
T.B.D.	TO BE DETERMINED
TFF.	TOP OF FINISHED FLOOR
TYF.	TYPICAL
WD.	WOOD
W/	WITH
U.N.O.	UNLESS NOTED OTHERWISE

ZONING AND PERMIT DATA

OCCUPANCY CLASSIFICATION: SINGLE FAMILY RESIDENTIAL
 CONSTRUCTION TYPE: 3B
 ZONING DISTRICT R1

DRAWING LEGEND

	WINDOW TAG SEE CORRESPONDING # IN WINDOW SCHEDULE
	DOOR TAG SEE CORRESPONDING # IN DOOR SCHEDULE
	ELEVATION TAG SEE CORRESPONDING DRAWING & SHEET #
	SECTION TAG SEE CORRESPONDING DRAWING AND SHEET #
	ROOM TAG SEE CORRESPONDING NAME AND # IN ROOM FINISH SCHEDULE
	BREAK LINE ELEMENTS CONTINUE BEYOND BREAK LINE BUT ARE NOT SHOWN
	WALL TYPE SPECIFIES WALL CONSTRUCTION. SEE WALL TYPE SCHEDULE

INDEX KEY	COVER SHEET
-	NOTES - GENERAL NOTES, INDEX KEY, ABBR. LEGEND, DWG LEGEND
A0.0	ARCHITECTURAL
A0.1	NOTES
A0.2	NOTES
A0.3	SITE PLAN
A1.0	DEMOLITION PLANS
A2.0	FLOOR PLAN
A2.1	BLOW UP FLOOR PLANS
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A2.3	FRAMING PLAN
A3.0	RCP
A4.0	EXTERIOR ELEVATIONS
A4.1	EXTERIOR ELEVATIONS
A4.2	EXTERIOR ELEVATIONS
A5.0	INTERIOR ELEVATIONS
A5.1	INTERIOR ELEVATIONS
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A6.0	SCHEDULES
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A7.0	DETAILS - BUILDING SECTIONS
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A7.5	DETAILS
A7.6	DETAILS
A7.7	DETAILS
E0.0	POWER PLAN
	ELECTRICAL

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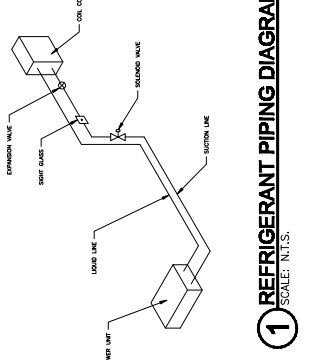
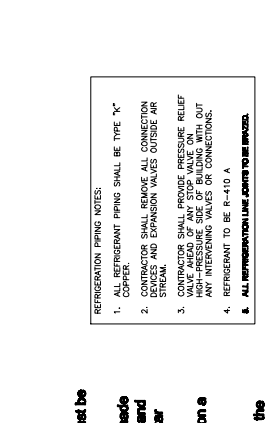
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GENERAL NOTES

I CERTIFY THAT THESE DRAWINGS WERE PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND CONTROL AND TO THE BEST OF MY KNOWLEDGE AND BELIEF COMPLY WITH THE REQUIREMENTS OF THE CHICAGO BUILDING CODE.

- HVAC RECOMMENDATIONS**
- COOLING NOTES:**
 IN GENERAL, WORK UNDER THIS SECTION INCLUDES ALL LABOR, MATERIALS, EQUIPMENT, TOOLS AND ALL INCIDENTALS REQUIRED TO COMPLETE AND PLACE IN SATISFACTORY OPERATION THE FOLLOWING MAIN ITEMS AND SYSTEMS.
- CONTRACTOR SHALL VISIT SITE AND FAMILIARIZE SELF WITH EXISTING CONDITIONS PRIOR TO SUBMITTING OF BID. ALL DIMENSIONS SHALL BE FIELD VERIFIED. IN CASE OF DISCREPANCIES ARCHITECT/ENGINEER SHALL BE NOTIFIED.
 - FURNISH AND INSTALL ALL AS EQUIPMENT FOR COOLING COMPLETE WITH FANS, MOTORS, FILTERS, GAS BURNERS, COMBUSTION CHAMBERS, BASES AND FLUES AS NECESSARY AND AS REQUIRED.
 - COMPLETE TOILET AND KITCHENETTE SYSTEMS INCLUDING FANS, DAMPERS, AND DUCTWORK AS NECESSARY AND AS REQUIRED.
 - INCLUDE ALL DUCTWORK INCLUDING DIFFUSERS, GRILLES, REGISTERS AND LINING AS REQUIRED.
 - CONTRACTOR SHALL PROVIDE A MINIMUM OF 10' - 0" ABOVE GROUND. FRESH AIR INTAKES SHALL BE A MINIMUM OF 10' - 0" ABOVE GROUND.
 - NOISE LEVEL SHALL NOT EXCEED 55 DB. AT PROPERTY LINE.
 - BALANCING OF SUPPLY, RETURN AND EXHAUST AIR SYSTEMS TO BE THE HVAC CONTRACTOR'S RESPONSIBILITY.
 - CHECKING, TESTING AND STARTUP OF ALL HEATING AND EXHAUST SYSTEMS TO BE THE HVAC CONTRACTOR'S RESPONSIBILITY.
 - ALL PARTITIONS SHALL BE CONSTRUCTED OF GALVANIZED SHEET METAL AND SHALL CONFORM TO THE LATEST EDITIONS OF ASHRAE GUIDE AND SMACNA STANDARDS.
 - LINE ALL NEW SUPPLY AND RETURN DUCTWORK IN UNHEATED AREAS WITH 1/2" OF INSULATION. INCREASE DUCT WIDTH AND HEIGHT TO ACCOMMODATE INSULATION.
 - CONTRACTOR SHALL VERIFY ALL VOLTAGES IN FIELD PRIOR TO ORDERING EQUIPMENT.
 - CONTRACTOR SHALL FURNISH AND INSTALL ALL HUMIDIFIERS SPECIFIED AND AS REQUIRED, AND MAKE FINAL WATER CONNECTION.
 - CONCEAL ALL BRANCH SUPPLY RETURN AND EXHAUST DUCTWORK. RUN BETWEEN JOINTS AND INSIDE PARTITION WALLS AS MUCH AS POSSIBLE.
 - FLUE GAS CONNECTIONS SHALL NOT BE ALLOWED UNLESS APPROVED BY LOCAL CODES AND SHALL NOT EXCEED 10' FROM THE EXTERIOR WALL.
 - HVAC CONTRACTOR MAY REARRANGE ANY PORTION OF THE DUCTWORK IF NECESSARY, SUCH AS SIZES OR LOCATIONS IF FINAL CONSTRUCTION DETAILS REQUIRE. ANY REARRANGED DUCTWORK THAT MOVES SLOTTED, REGISTER OR DIFFUSER TO ANY OTHER TRADES WORK MUST BE APPROVED BY THE ARCHITECT, AND GENERAL CONTRACTOR.
 - CONTRACTOR SHALL RELOCATE ANY EXISTING THERMOSTATS TO NEW LOCATION AS REQUIRED.
 - CONTRACTOR SHALL PROVIDE ALL NEW GAS PIPING AS SHOWN AND AS REQUIRED. MAKE NEW CONNECTIONS TO EXISTING EQUIPMENT.
 - SEPARATE TRUNK SUPPLY LINES FOR THE FIRST AND SECOND FLOORS ARE TO HAVE DAMPERS IN THE DUCT NEAR THE FURNACE OUTLET. THESE DAMPERS ARE TO BE ACCESSIBLE TO THE OWNER FOR BALANCING THE SYSTEMS.
 - THE HVAC CONTRACTOR IS TO SUPPLY HEAT LOSS CALCULATIONS, EQUIPMENT SCHEDULE, AND ANY OTHER INFORMATION REQUIRED FOR PERMIT.
 - ORDER TO BE VENTED DIRECTLY TO THE EXTERIOR WALL AND PROVIDED WITH VENT HOODS UNLESS APPROVED OTHERWISE BY THE ARCHITECT AND OWNER AND ALLOWED BY CODE.
 - ALL SUPPLY, RETURN, AND EXHAUST DUCT OPENINGS SHALL BE CAPPED WITH SUITABLE MATERIAL DURING CONSTRUCTION.
 - TYPE "B" FLUE TO BE INSTALLED FOR EXISTING BOILER AND HOT WATER HEATER AS REQUIRED.
 - CHIMNEY OR VENT CONNECTORS SHALL HAVE A RISE OF AT LEAST 1/4" TO THE FOOT OF RUN AND BE SECRETLY SUPPORTED.
 - JOINTS AND SEAMS OF SUPPLY AND RETURN DUCTS TO BE SECURED PROPERLY AND SUBSTANTIALLY AIRTIGHT.
 - SYSTEM SHALL BE DESIGNED TO MAINTAIN -27 DEGREES INSIDE TEMPERATURE AT MINUS 20 DEGREES OUTSIDE TEMPERATURE IN WINTER AND 72 DEGREES INSIDE WITH 100 DEGREES OUTSIDE TEMPERATURE IN SUMMER.
 - ALL AIR-SUPPLY OUTLETS, AND RETURNS TO BE LOCATED BY CONTRACTOR ACCORDING TO PLANS AND APPROVED BY ARCHITECT AND OWNER. FINAL LOCATION OF DIFFUSERS AND REGISTER SHALL BE SUBJECT TO ARCHITECT'S AND OWNER APPROVAL.
 - PROVIDE ADEQUATE DUCTED COMBUSTION AIR FOR EQUIPMENT AS REQUIRED BY CODE.
 - ROOF OUTLETS AND BACK DRAFT DAMPERS.
 - BATH, KITCHEN AND POWER ROOM EXHAUST FANS SHALL BE SIZED ACCORDING TO VENT SCHEDULE.
 - ROUTE HOT WATER HEATER AND AC CONDENSATION OVERFLOW DRAIN TO BASEMENT FLOOR DRAIN.

- HVAC SPECIFICATIONS:**
- HEATING NOTES:**
 IN GENERAL, WORK UNDER THIS SECTION INCLUDES ALL LABOR, MATERIALS, EQUIPMENT, TOOLS AND ALL OTHER INCIDENTALS REQUIRED TO COMPLETE AND PLACE IN SATISFACTORY OPERATION THE FOLLOWING MAIN ITEMS AND SYSTEMS.
- CONTRACTOR SHALL VISIT SITE AND FAMILIARIZE SELF WITH EXISTING CONDITIONS PRIOR TO SUBMITTING OF BID.
 - ALL DIMENSIONS SHALL BE FIELD VERIFIED. IN CASE OF DISCREPANCIES ARCHITECT/ENGINEER SHALL BE NOTIFIED.
 - FURNISH AND INSTALL ALL FURNACES FOR HEATING COMPLETE WITH FANS, MOTORS, FILTERS, GAS BURNERS, COMBUSTION CHAMBERS, BASES AND FLUES AS NECESSARY AND AS REQUIRED.
 - COMPLETE TOILET AND KITCHENETTE SYSTEMS INCLUDING FANS, DAMPERS, AND DUCTWORK AS NECESSARY AND AS REQUIRED.
 - INCLUDE ALL DUCTWORK INCLUDING DIFFUSERS, GRILLES, REGISTERS AND LINING AS REQUIRED.
 - INCLUDE ALL TEMPERATURE CONTROL AS REQUIRED AND AS SPECIFIED BY THE EQUIPMENT MANUFACTURER. ALL WIRING SHALL BE IN CONDUIT.
 - ALL FRESH AIR INTAKES SHALL BE 15' - 0" AWAY FROM ALL EXHAUST, COMBUSTION AIR OUTLETS AND VENTS. FRESH AIR INTAKES SHALL BE A MINIMUM OF 10' - 0" ABOVE GROUND.
 - NOISE LEVEL SHALL NOT EXCEED 55 DB. AT PROPERTY LINE.
 - BALANCING OF SUPPLY, RETURN AND EXHAUST AIR SYSTEMS TO BE THE HVAC CONTRACTOR'S RESPONSIBILITY.
 - CHECKING, TESTING AND STARTUP OF ALL HEATING AND EXHAUST SYSTEMS TO BE THE HVAC CONTRACTOR'S RESPONSIBILITY.
 - ALL DUCTWORK SHALL BE CONSTRUCTED OF GALVANIZED SHEET METAL AND SHALL CONFORM TO THE LATEST EDITIONS OF ASHRAE GUIDE AND SMACNA STANDARDS.
 - LINE ALL NEW SUPPLY AND RETURN DUCTWORK IN CRAWL SPACES OR ATTICS AND ANY OTHER UNHEATED AREAS WITH 1/2" OF INSULATION. INCREASE DUCT WIDTH AND HEIGHT TO ACCOMMODATE INSULATION.
 - CONTRACTOR SHALL VERIFY ALL VOLTAGES IN FIELD PRIOR TO ORDERING EQUIPMENT.
 - CONTRACTOR SHALL FURNISH AND INSTALL ALL HUMIDIFIERS SPECIFIED AND AS REQUIRED, AND MAKE FINAL WATER CONNECTION.
 - PROVIDE BALANCING DAMPERS ON ALL BRANCH DUCTS, AS SHOWN AND AS REQUIRED BY LOCAL CODES.
 - CONCEAL ALL BRANCH SUPPLY RETURN AND EXHAUST DUCTWORK. RUN BETWEEN JOINTS AND INSIDE PARTITION WALLS AS MUCH AS POSSIBLE.
 - HVAC CONTRACTOR MAY REARRANGE ANY PORTION OF THE DUCTWORK IF NECESSARY, SUCH AS SIZES OR LOCATIONS IF FINAL CONSTRUCTION DETAILS REQUIRE. ANY REARRANGED DUCTWORK THAT MOVES SLOTTED, REGISTER OR DIFFUSER TO ANY OTHER TRADES WORK MUST BE APPROVED BY THE ARCHITECT, AND GENERAL CONTRACTOR.
 - CONTRACTOR SHALL SERVICE ALL EXISTING TO REMAIN EQUIPMENT FOR PROPER OPERATION.
 - CONTRACTOR SHALL RELOCATE ANY EXISTING THERMOSTATS TO NEW LOCATION AS REQUIRED.
 - CONTRACTOR SHALL PROVIDE ALL NEW GAS PIPING AS SHOWN AND AS REQUIRED. MAKE NEW CONNECTIONS TO EXISTING EQUIPMENT.
 - ALL FRESH AIR INTAKES SHALL BE A MINIMUM OF 15' - 0" AWAY FROM ALL EXHAUST, COMBUSTION AIR OR PLUMBING VENT OUTLETS, AND SHALL BE 10' - 0" ABOVE GROUND.
 - UNLESS NOTED OTHERWISE, ALL REGISTERS SHOWN ARE FLOOR REGISTERS. ALL FLOOR REGISTERS ARE 2 1/4" X 12" WITH OPERABLE AIR DAMPERS. ALL REGISTERS ARE TO BE LOCATED A MINIMUM OF 9" AWAY FROM THE WALL.
 - SEPARATE TRUNK SUPPLY LINES FOR THE FIRST AND SECOND FLOORS ARE TO HAVE DAMPERS IN THE DUCT NEAR THE FURNACE OUTLET. THESE DAMPERS ARE TO BE ACCESSIBLE TO THE OWNER FOR BALANCING THE SYSTEMS AT DIFFERENT STOREYS.
 - THE HVAC CONTRACTOR IS TO SUPPLY HEAT LOSS CALCULATIONS, EQUIPMENT SCHEDULE, AND ANY OTHER INFORMATION REQUIRED FOR PERMIT.



- Cold Weather Masonry Construction and Protection**
- The cold weather construction and protection recommendations of this recommended practice should be closely followed.
 - Construction materials should be received, stored, and protected in ways that prevent water from entering the materials.
 - If climatic conditions warrant, temperatures of construction materials should be measured - frozen sand and wet masonry units must be thawed. Masonry units below 20 F must be heated above 20 F without overheating.
 - Sufficient mortar ingredients should be heated to produce mortar temperatures between 40 F and 120 F. Every effort should be made to produce consecutive batches of mortar with the same temperatures falling within this range. The mortar temperature after mixing and before use should be above 40 F, maintainable either by auxiliary heaters under the mortar board or by more frequent mixing of mortar batches. Heated mortar on mortar boards should not be excessively hot (greater than 120 F).
 - During below-normal temperatures, masonry should be placed on sound/unfrozen foundations. Masonry should never be placed on a snow or ice-covered surface, because of the danger of movement when the base thaws and the possibility of very little bond being developed between the mortar and the supporting surface.
 - At the end of the day, the top surface of all masonry should be protected to prevent moisture, as rain, snow or sleet, from entering the masonry. This protection must cover the top surface and should extend a minimum of 2 feet down all sides of the masonry.

Work Day Temperature	Construction Requirement	Protection Requirement
Above 40 F	Normal masonry procedures.	Cover walls with plastic or canvas at end of work day to prevent water entering masonry.
40 F - 32 F	Heat mixing water to produce mortar temperatures between 40 F - 120 F.	Cover walls and materials to prevent wetting and freezing. Covers should be plastic or canvas.
32 F - 25 F	Heat mixing water and sand to produce mortar temperatures between 40 F - 120 F	With wind velocities over 15 mph provide windbreaks during the work day and cover walls and materials at the end of the work day to prevent wetting and freezing.
25 F - 20 F	Mortar on boards should be maintained above 40 F.	Maintain masonry above freezing for 16 hours using auxiliary heat or insulated blankets.
20 F - 0 F and below	Heat mixing water and sand to produce mortar temperatures between 40 F - 120 F.	Provide enclosures and supply sufficient heat to maintain masonry enclosure above 32 F for 24 hours.

ELECTRICAL SPECIFICATIONS

Electrical Notes

In general, work under this section includes all labor, materials, equipment, tools and all other incidentals required to complete and place in satisfactory operation the following main items and systems.

- All electrical work shall be installed as per National Electrical Code 1997 Edition.
- Provide complete electrical system including electric service panel, wiring, conduits, outlets, wall boxes, switches, smoke detectors, etc.
- All wiring shall be copper minimum #14 gauge and as per local code.
- In every kitchen, family room, dining room, living room, parlor, library, den, sun room, bed room, recreation room, or similar room or area of dwellin units, receptacle outlets shall be installed so that no point along the floor line in any wall space is more than 6 feet, measured horizontally, from another outlet in that space, including any wall space 2 feet or more in width and wall space occupied by fixed panels in exterior wall, but excluding sliding panels in exterior walls.
- In kitchen and dining areas of dwelling units, a receptacle outlet shall be installed at each wall counter space 12" or wider, receptacle outlets shall be installed so that no point along the wall line is more than 24 inches, measured horizontally from a receptacle outlet in that space.
- Receptacle outlet shall be installed at each island or peninsula counter top with a long dimension of 24 inches or greater and a short dimension of 12 inches or greater. Receptacle outlets to serve island or peninsula countertops shall be installed above, or within 12 inches below the countertop. Receptacle outlets shall be installed so that no point along the centerline of the long dimension is more than 24 inches, measured horizontally, from a receptacle outlet in that space. A peninsula counter top is measured from the connecting edge.
- In dwelling units, at least one wall GFI receptacle outlet shall be installed in the bathroom adjacent to each basin location.
- At least one WP GFI receptacle outlet accessible at grade level shall be installed at the front and back of the dwelling unit.
- At least one GFI receptacle outlet shall be installed for the laundry.
- At least one receptacle outlet shall be installed in each basement and each garage.
- In hallways of 10 feet or more in length one receptacle outlet shall be installed. The hallway length shall be considered along the centerline of the hall without passing through a doorway.
- At least one wall switch-controlled lighting outlet shall be installed in every habitable room; in bathrooms, hallways, stairways, attached garages, and at outdoor entrances or exits.
- At least one lighting outlet controlled by a light switch located at the point of entry to the attic, under floor space, utility room, and basement shall be installed where these spaces are used for storage or contain equipment requiring servicing. Where lighting outlets are installed in interior stairways, there shall be a wall switch at each floor level to control the lighting outlet where the difference between floor levels is six steps or more.
- All 125-Volt, single phase 15- and 20-Ampere receptacles installed in bathrooms shall have ground-fault circuit interrupter protection.
- All 125-Volt, single phase 15- and 20-Ampere receptacles installed in garages shall have ground-fault circuit interrupter protection.
- All 125-Volt, single phase 15- and 20-Ampere receptacles installed outdoors where there is ground level access to the receptacles shall have ground-fault circuit interrupter protection.
- All 125-Volt, single phase 15- and 20-Ampere receptacles installed in crawl spaces at or below grade level and in unfinished basements shall have ground-fault circuit interrupter protection, except single receptacles supplied by dedicated branch circuit that is located and identified for specific use by code and safety receptacles, such as a refrigerator or freezer and a single receptacle supplying a permanently installed sump pump and sanitary ejector pump.
- All 125-Volt, single phase 15- and 20-Ampere receptacles to serve counter top surfaces, installed within 6 feet of a wet bar sink or kitchen sink, shall have ground-fault circuit interrupter protection.
- All electrical work for appliances shall be installed as per manufacturer's recommendations and NEC Article 422 Appliances.
- Provide dedicated branch circuits for heating and air conditioning equipment as per manufacturer's recommendations and NEC Article 440 Air Conditioning and Refrigerating Equipment.
- Electrical service shall be grounded outside with 5/8 inch x 8 feet copper ground rod, bonded both electrically and mechanically at the meter fitting. Inside grounding is to be piped to street side of water meter and proper size jumper is to be installed across the water meter.
- Provide smoke detectors near each heating unit and one per floor, with the location being a maximum of 15 feet from any bedroom door. Line voltage or low voltage systems to be tied electrically in a series and be on a separate 15 ampere circuit identified in the main breaker panel. All alarm and fire detection wire to be U.L. rated for alarm systems and be low smoke and high temperature.
- All smoke detectors shall have 110 Volt and battery back-up, one per level, and all wired in series.
- All 125 Volt, single phase, 15 amp and 20 amp receptacles installed below grade shall have ground fault interrupter protection for personnel.
- All closets and storage spaces shall meet NEC #410-8.
- All 125 volt, single phase, 15 amp and 20 amp receptacles, electrical equipment, light fixtures, and fans installed in bathrooms shall be installed with GFCI protection.
- Provide and install carbon monoxide detectors as required by local code.

Electrical Notes

- All outlets to be mounted at 18" AFF unless otherwise noted.
- All switches to be counted at 42" AFF unless otherwise noted.

PLUMBING NOTES:

- THE CONTRACTOR SHALL PROVIDE ALL CONNECTIONS FOR COMPLETE SOIL AND SUPPLY SYSTEMS, INCLUDING, BUT NOT NECESSARILY LIMITED TO:
 - TWO PIPE COPPER SUPPLY LINES FROM METER TO ALL FIXTURE LOCATIONS.
 - PVC VERTICAL WASTE LINES THROUGHOUT
 - SHUT-OFF VALVES AT ALL FIXTURES
 - 12" AIR CHAMBERS ON ALL SUPPLY LINES
 - FROST-PROOF HOSE BIBS AT ALL UNHEATED OR EXTERIOR OUTLETS
 - GAS LINES FOR KITCHEN APPLIANCES
 - SHUT-OFF VALVE FOR INCOMING CITY WATER LINE
- ALL GAS LINES TO GAS APPLIANCES SHALL BE RUN BY PLUMBING CONTRACTOR AND SHALL BE PROVIDED WITH A CAPPED DRIP AT THE FURNACE, WATER HEATER, AND DRYER.
- SEWER LINES TO BE CAST IRON INSIDE THE BUILDING TO 3'-0" OUTSIDE, WHERE REQUIRED, SEWER LINES OUTSIDE TO BE VITRIFIED CLAY.
- PLASTIC (PVC) PIPING FOR WASTE AND VENT AND HARD COPPER WATER SUPPLY PIPING TO CONFORM TO LATEST ASTM SPECIFICATIONS FOR RESIDENTIAL USE.
- PIPING SLOPES TO BE 1/4" PER FOOT OR AS REQUIRED.
- PROVIDE CLEANOUTS IN ANY RUN WITH A BEND MORE THAN 45°, WITHIN 5'-0" OF THE BUILDING WALL, AT THE BASE OF ALL STACKS, AND AT CHANGES OF DIRECTION.
- ALL WATER PIPING ABOVE GROUND TO BE TYPE "L" COPPER.
- ALL WATER PIPING BELOW GROUND TO BE TYPE "K" COPPER.
- ALL GAS LINES TO BE SCHEDULE 40 BLACK IRON WITH SCREWED FITTINGS.
- WRAP ALL HOT AND COLD PIPING WITH PIPE INSULATION. DOUBLE WRAP ALL HOT AND COLD PIPING WITH PIPE INSULATION AT EXTERIOR WALLS AND UNINSULATED AREAS.
- SYSTEM SHALL COMPLY WITH ASTM STANDARD AND ALL LOCAL AND STATE CODES.
- PLUMBING CONTRACTOR SHALL COORDINATE WITH LOCATIONS OF PLUMBING ACCESS PANELS AND SHALL ARRANGE HIS WORK TO CORRESPOND TO THE ACCESS PANEL LOCATIONS.
- PROVIDE UNIONS AT COM JUNCTIONS TO ALL EQUIPMENT FOR IRON PIPING SYSTEMS. PROVIDE DIELECTRIC UNIONS AT CONNECTION OF EQUIPMENT IF BLACK IRON TO COPPER TRANSITION IS MADE.
- FIXTURES TO BE SUPPLIED AND INSTALLED BY THE PLUMBING CONTRACTOR.
- LAUNDRY BOX (IF REQUIRED): GUY GRAYBOX WITH HOT AND COLD WATER SHUT-OFF VALVES AND WASTE LINE. COORDINATE LOCATION WITH ARCHITECT.
- C.I. - CAST IRON
- DOTTED LINE AT WASTE RISER INDICATES VENT LINES.
- ALL FIXTURES TO HAVE 12" AIR CHAMBERS.
- RISER DIAGRAMS ON THE DRAWINGS ARE SCHEMATIC ONLY. THE PLUMBING CONTRACTOR IS TO REVIEW THE ENTIRE SYSTEM, INCLUDING BUT NOT LIMITED TO THE PIPING SIZES AND FIXTURE LAYOUTS.
- THE PLUMBING CONTRACTOR IS TO VERIFY ALL EXISTING PLUMBING WORK AND REPLACE OR REPAIR WORK AS REQUIRED. THIS IS TO INCLUDE ALL CONNECTIONS TO THE CITY WATER, GAS, AND LINES.
- THE PLUMBING CONTRACTOR IS TO WARRANT THE PLUMBING SYSTEM.

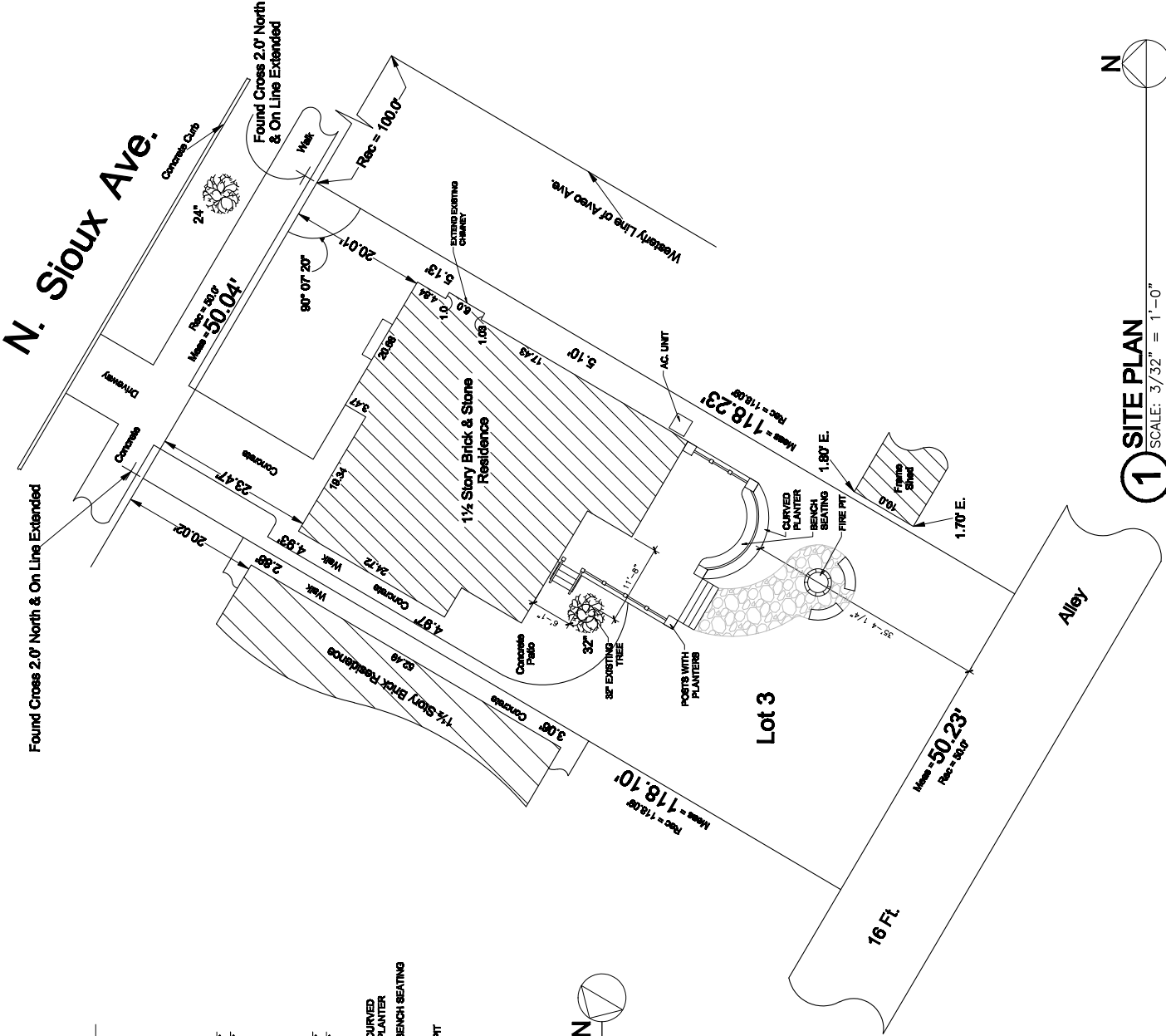
GENERAL NOTES

HPD 9-22-12

A0.2

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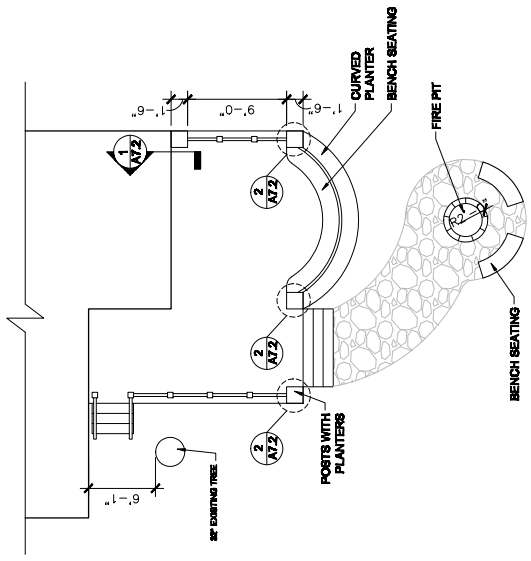


Found Cross 2.0' North & On Line Extended

N. Sioux Ave.



1 SITE PLAN
 SCALE: 3/32" = 1'-0"



2 DECK PLAN
 SCALE: 1/8" = 1'-0"

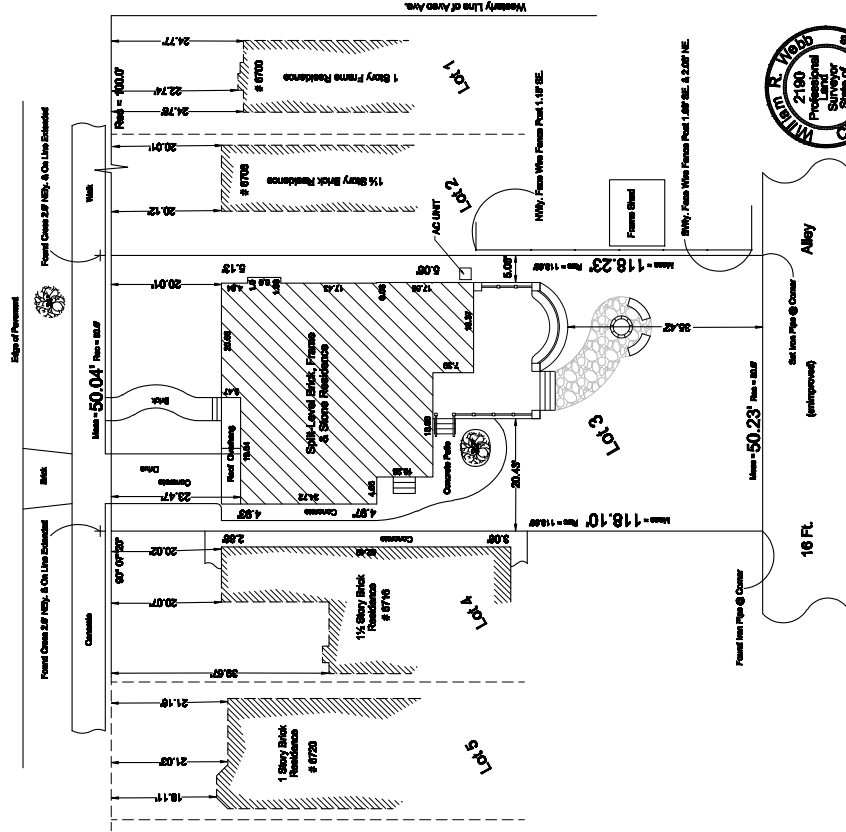
Plat of Survey

Central Survey, LLC 8416 N. Caldwell Ave., Chicago, Illinois 60646-2713
 Phone (773) 681-3285 www.CentralSurvey.com Fax (773) 775-2711

Legal Description

Lot 3 in Block 9 in Edgebrook Manor, a Subdivision of Lots 27, 32 to 35, that part of the Southwest 1/4 of Lot 39, all of Lot 39 West of the road, all of Lot 40 to 44, the Southwest 1/4 of Lot 45, all of Lots 47 to 52 in O'Brien & Jones' Subdivision of Block 9 part of Caldwell's Reserve in Township 40 N. R. 41, Range 13 N., Section 23, Cook County, Illinois
 Commonly known as 118.10' N. Sioux Ave., Chicago, Illinois
 Area of Land Described: 0.0241 Sq. Ft.

N. Sioux Ave.



Legend
 N = North
 E = East
 W = West
 T = Trench
 M = Manhole
 W = Water
 S = Sewer
 G = Gas
 A = Alley
 S = Sidewalk
 Scale: 1 inch equals 15 Feet

Order Number: 8712
 Order By: Steve McChesney
 Date: 11/18/12
 Scale: 1 inch equals 15 Feet

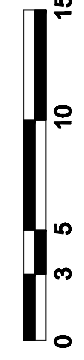
State of Illinois) S.S.
 County of Cook) S.S.
 Central Survey, LLC does hereby certify that on the ground survey per report of the Professional Surveyor of the State of Illinois, the bearings and distances shown on this plat have been correctly measured and that the area or field between corners is a correct representation of said survey. When bearings are shown the bearing lines are measured. Distances are shown in feet and hundredths and are correct at a temperature of 69° F.

Dated this 2nd day of August, 2012

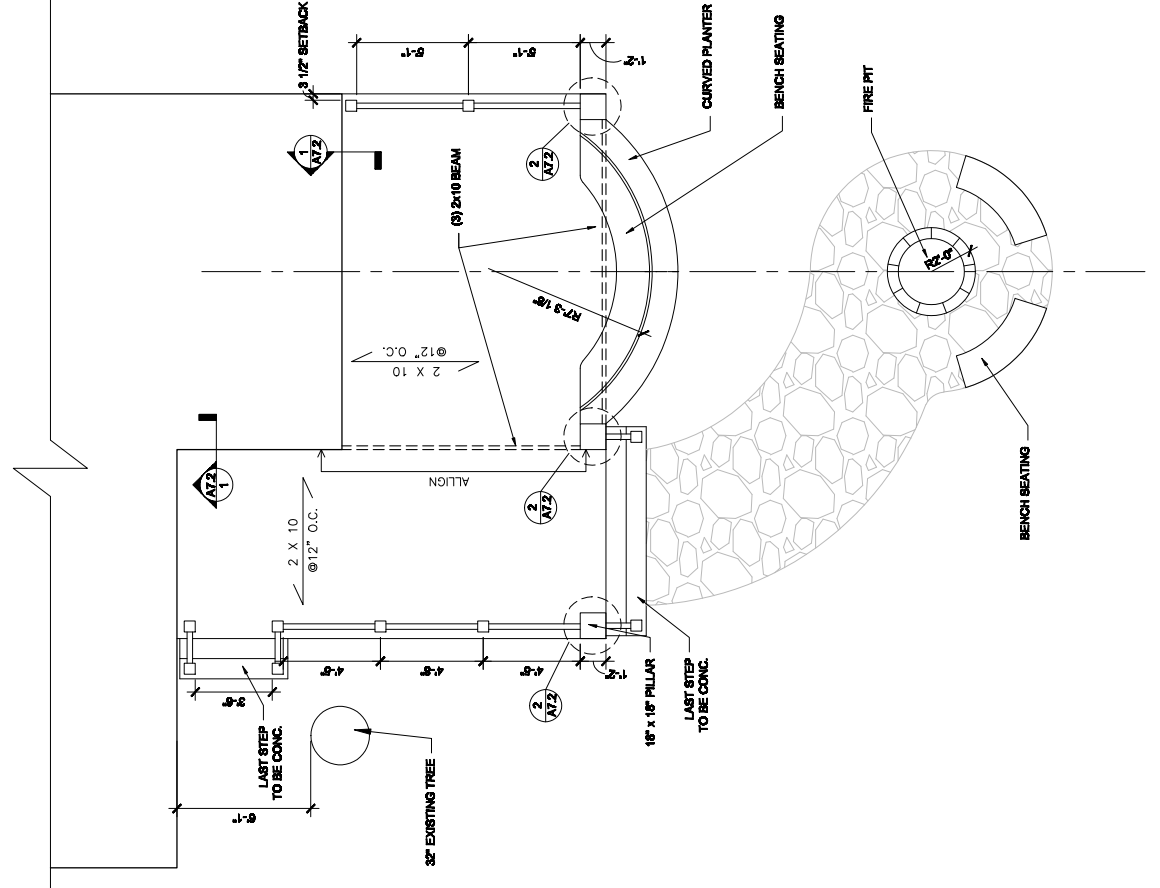
William R. Webb P.L.S. #2190
 Professional Design Firm Land Surveying LLC
 (License Number: 04-041113)



This plat was prepared in accordance with the standards of the Professional Surveyor of the State of Illinois to correct Illinois address standards for a boundary survey.



2 DECK PLAN
 SCALE: 1/8" = 1'-0"



1 SITE PLAN
 SCALE: 1/16" = 1'-0"

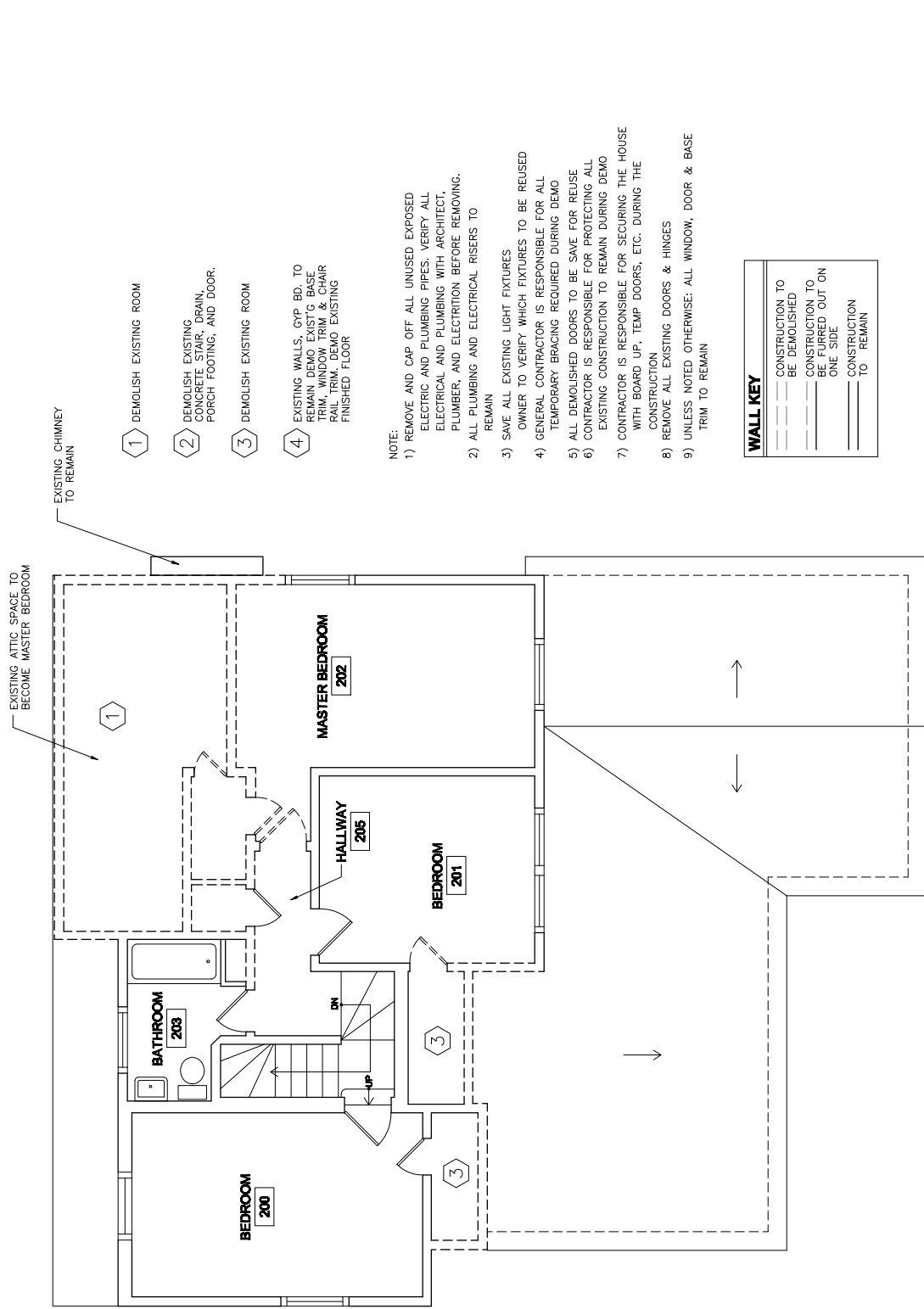
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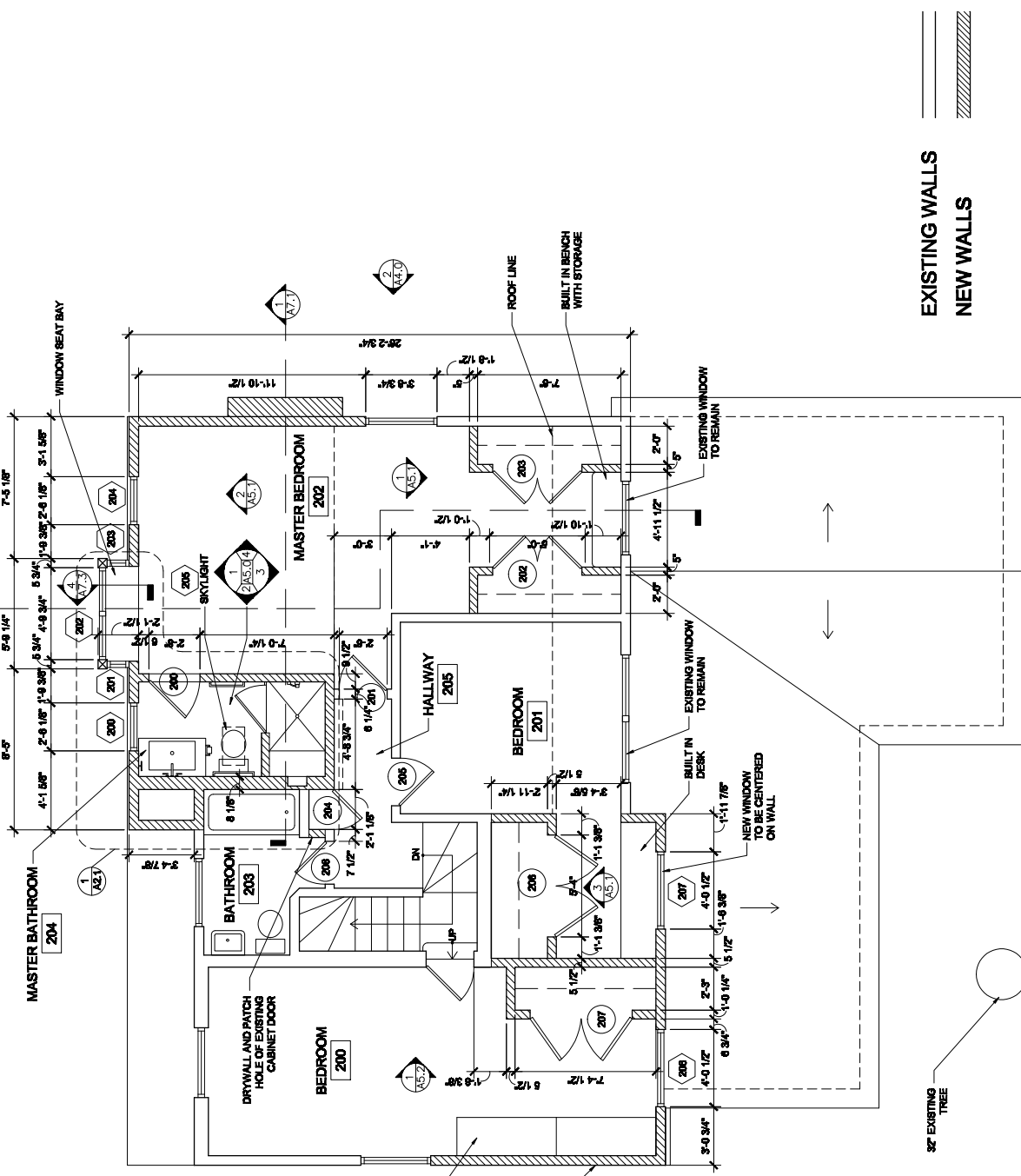
JK A
 JOHN KELLY ARCHITECTS
 3215 N. BROADWOOD
 SUITE 104
 CHICAGO, IL 60642
 TEL: 773-754-0473
 FAX: 773-754-0483

MCCHESNEY
 8712 N. SIoux
 CHICAGO, IL 60648

DECK & SITE PLAN

BID SET 8-22-12





EXISTING WALLS
 NEW WALLS

8" EXISTING TREE



1 FLOOR PLAN
 SCALE: 1/4" = 1'-0"

DECK
 BUILD NEW WALL
 SAME WIDTH AS EXISTING
 AND TO BE BUILT
 ON TOP OF EXISTING
 WALL BELOW

ROOF LINE
 BUILT IN BENCH
 WITH STORAGE

EXISTING WINDOW
 TO REMAIN
 BUILT IN DESK
 NEW WINDOW
 TO BE CENTERED
 ON WALL

EXISTING WINDOW
 TO REMAIN

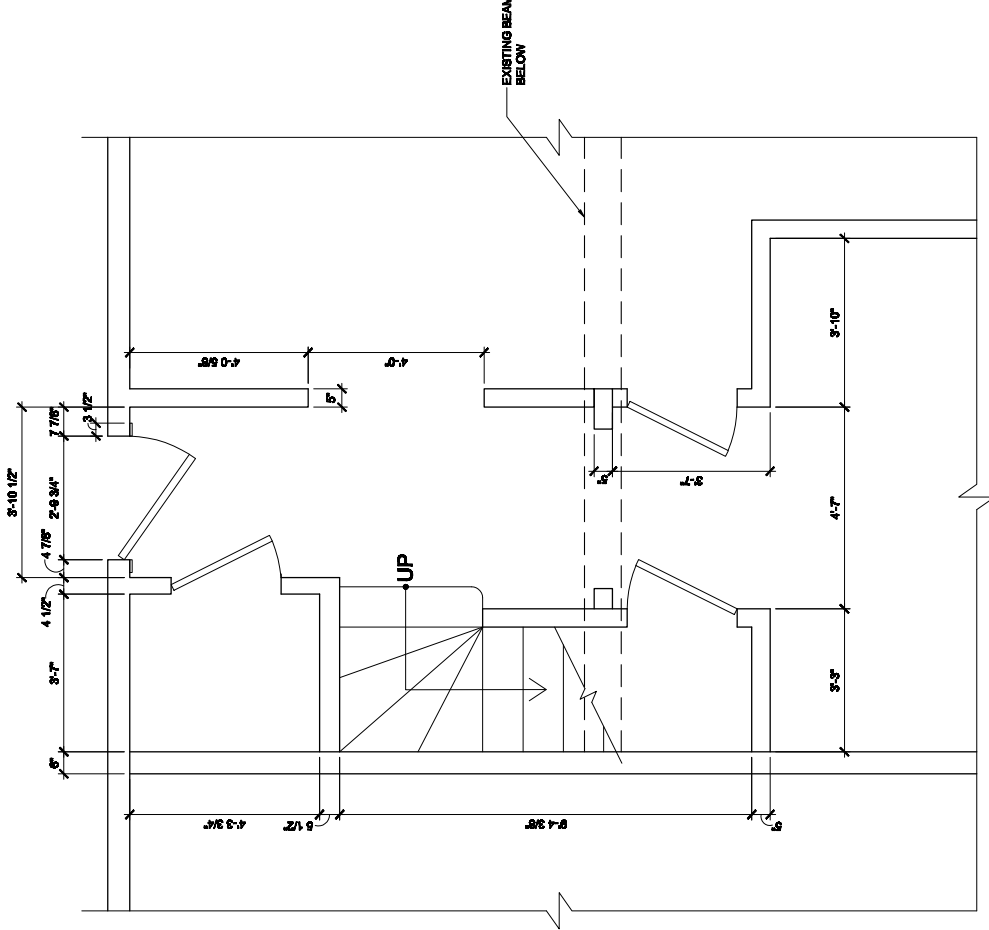
BUILT IN DESK
 NEW WINDOW
 TO BE CENTERED
 ON WALL

EXISTING WINDOW
 TO REMAIN

BUILT IN DESK
 NEW WINDOW
 TO BE CENTERED
 ON WALL

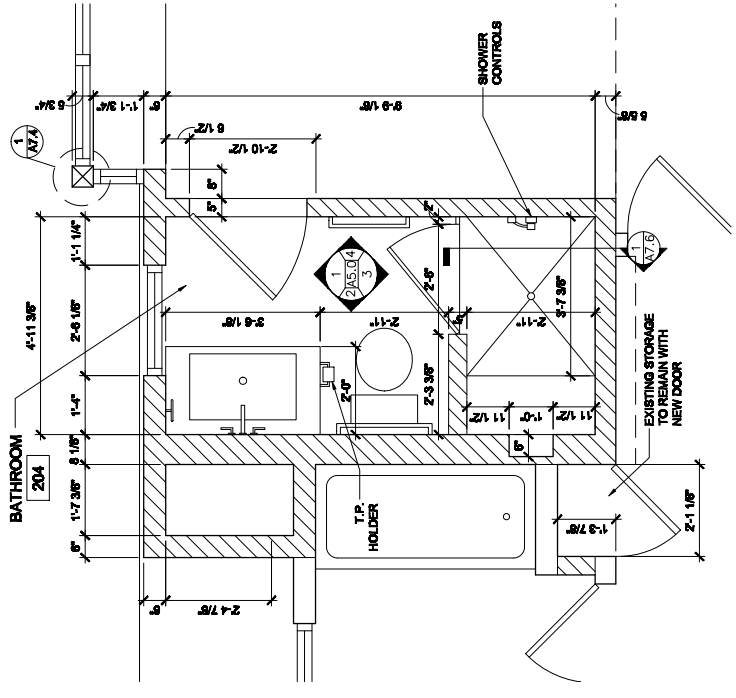
EXISTING WINDOW
 TO REMAIN

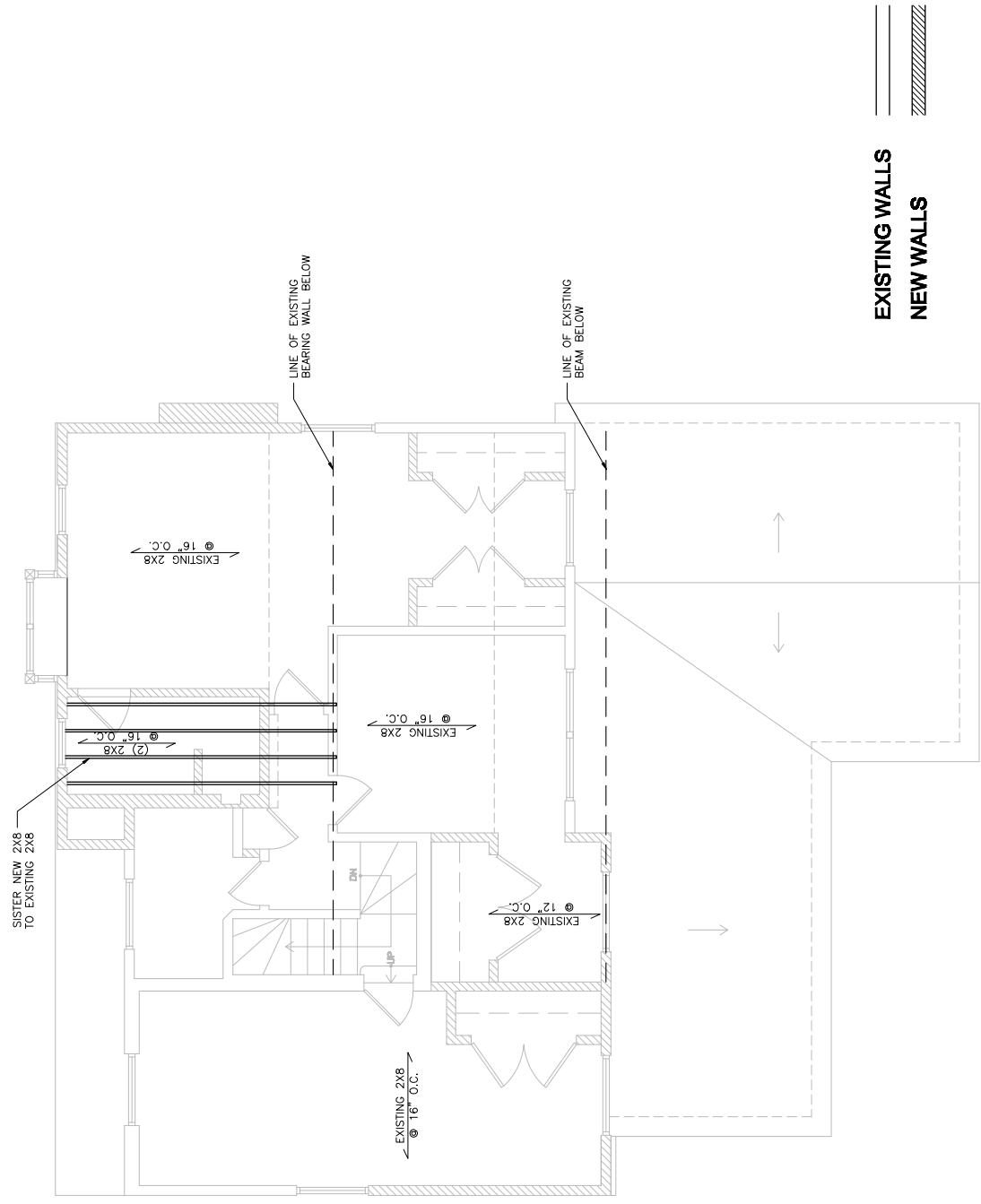
BUILT IN DESK
 NEW WINDOW
 TO BE CENTERED
 ON WALL



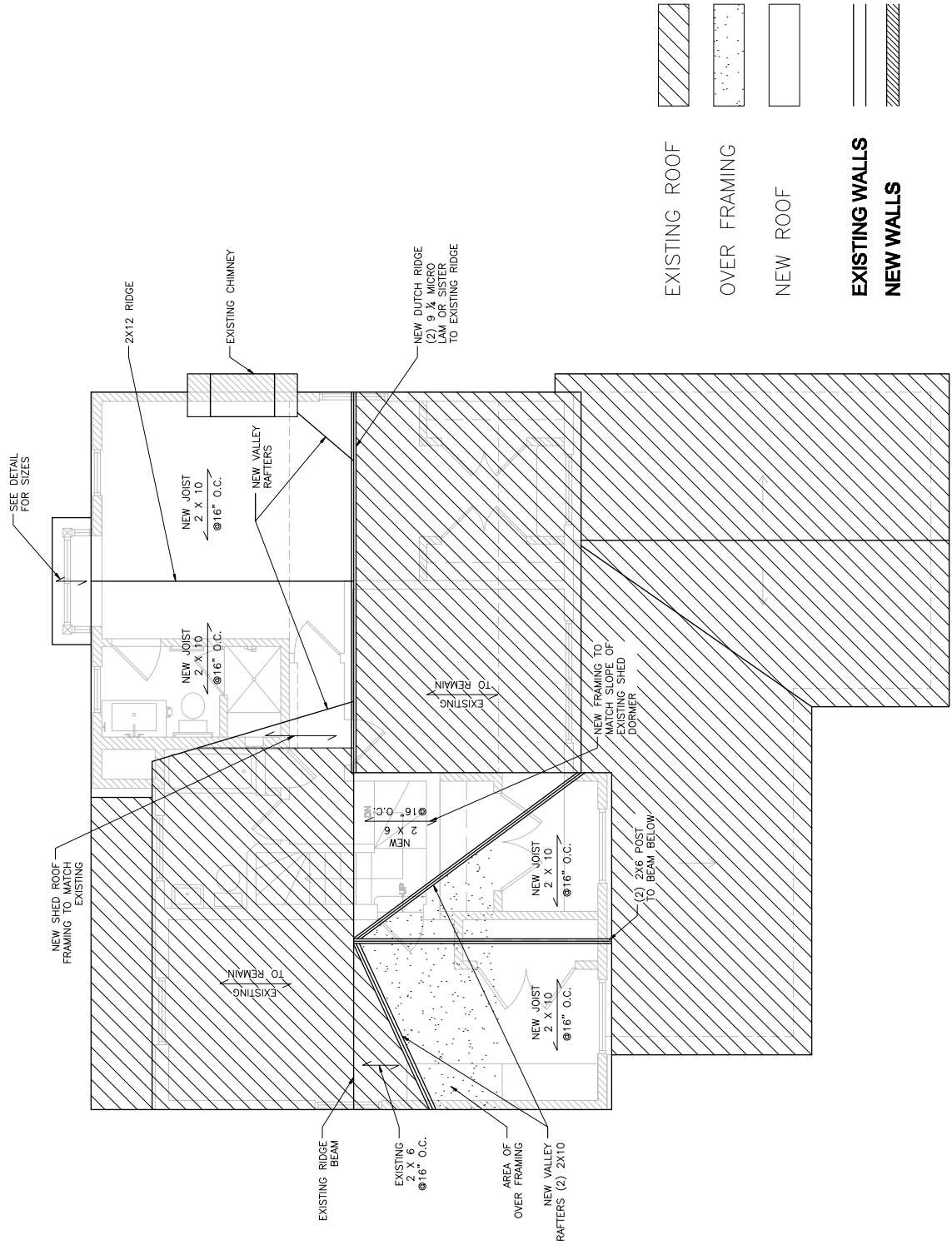
2 ENTRY FOYER
 SCALE: 1/2" = 1'-0"

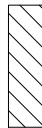




1 MASTER BATHROOM
 SCALE: 1/2" = 1'-0"





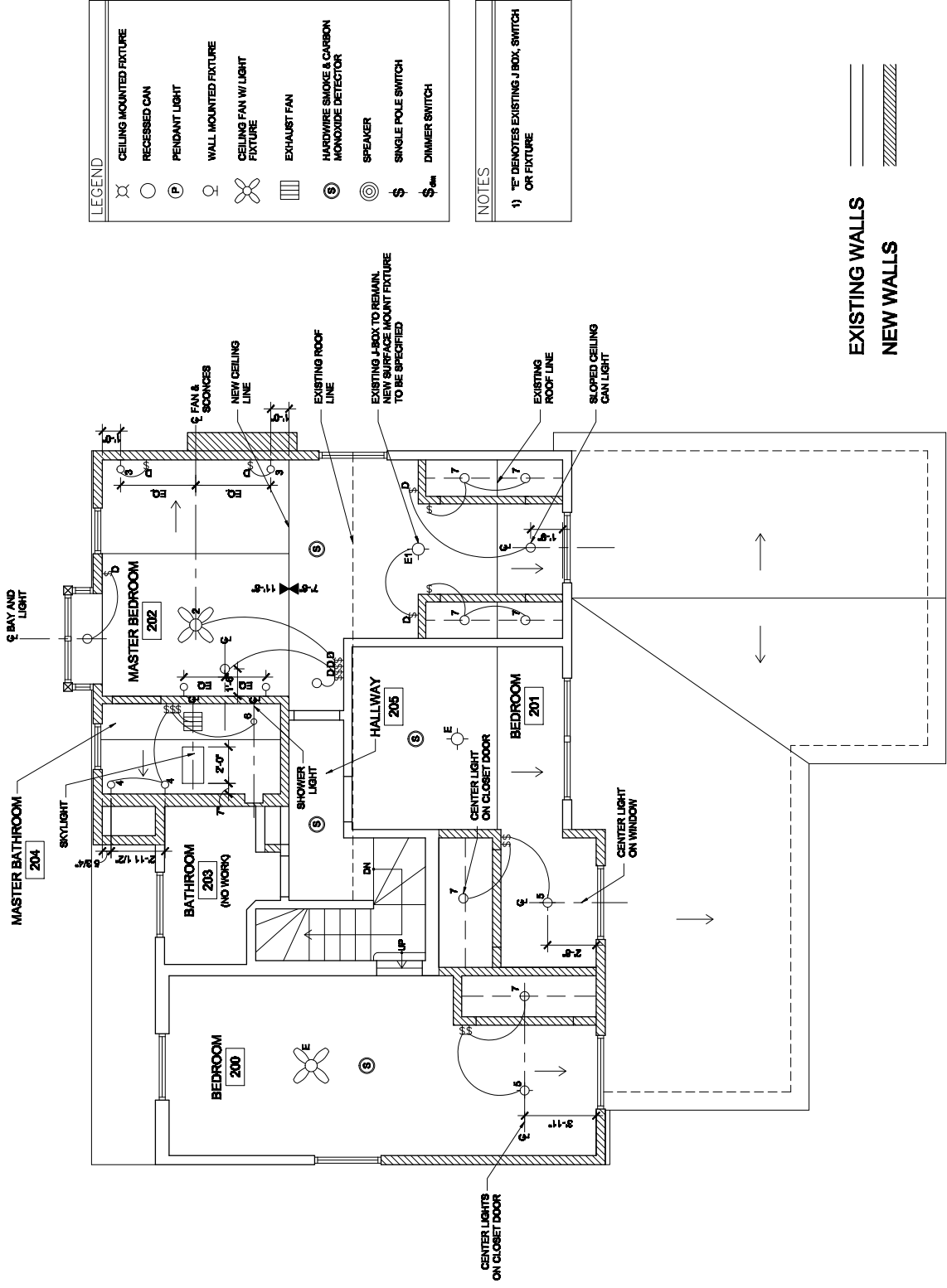
1 2ND FLOOR FRAMING PLAN
 SCALE: 1/4" = 1'-0"



-  EXISTING ROOF
-  OVER FRAMING
-  NEW ROOF
-  EXISTING WALLS
-  NEW WALLS



1 ROOF FRAMING PLAN
 SCALE: 1/4" = 1'-0"



LEGEND

	CEILING MOUNTED FIXTURE
	RECESSED CAN
	PENDANT LIGHT
	WALL MOUNTED FIXTURE
	CEILING FAN W/ LIGHT FIXTURE
	EXHAUST FAN
	HARDWARE SMOKE & CARBON MONOXIDE DETECTOR
	SPEAKER
	SINGLE POLE SWITCH
	DIMMER SWITCH

NOTES

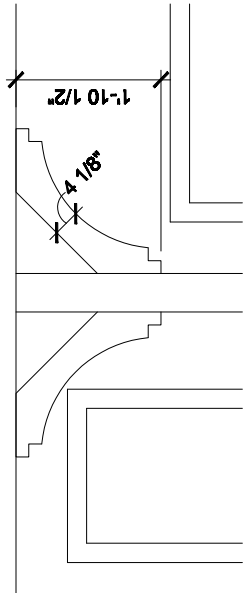
1) "E" DENOTES EXISTING J BOX, SWITCH OR FIXTURE

EXISTING WALLS

NEW WALLS



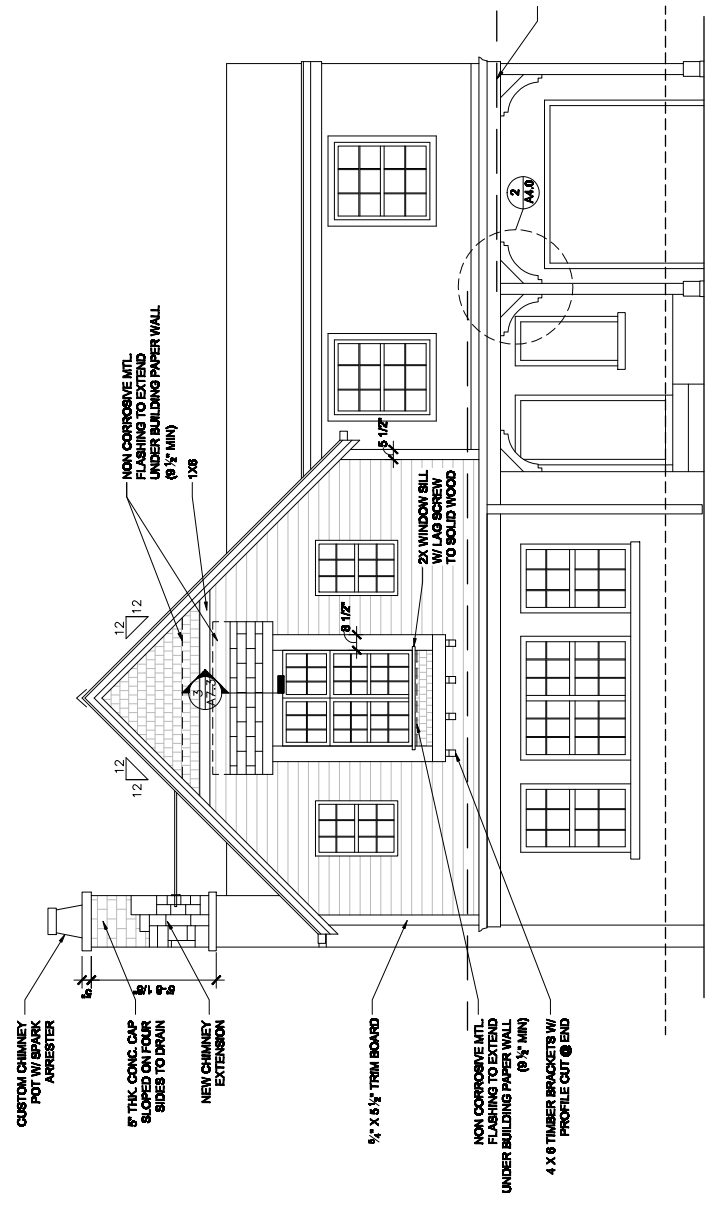
1 REFLECTED CEILING PLAN
 SCALE: 1/4" = 1'-0"



2 WOOD BRACKET DETAIL
SCALE: NOT TO SCALE

- NOTES:
- 1) BACK PRIME ALL WD. TRIM AND SIDING.
 - 2) ALL WD. TRIM AND SIDING TO BE CEDAR.
 - 3) USE 3'-0" ICF AND WATER SHIELD AT ALL RIDGES VALLEYS AND GUTTER LINES.
 - 4) ALL EXPOSED EXTERIOR WOOD TO BE PREMIUM GRADE CEDAR.
 - 5) SIDING & ALL WINDOW TRIM TO MATCH EXISTING PROFILE & TRIM
 - 6) SEE SHEET S1.0 FOR FRAMING
 - 7) SEE 2 A6.0 FOR WINDOW HEIGHTS & VERTICAL LOCATIONS
 - 8) MATCH THE TOP TRIM OF WINDOWS WITH EXISTING WINDOWS (FRIEZE BOARD TO BE PART OF WINDOW TRIM)

- NOTES:
- 25 YEAR DIMENSIONAL "TIMBERLINE" ARCHITECTURAL SHINGLES OVER SOLB FELT'S AND 5/8" EXTERIOR SHAPED INSULATION. FINISH AND STYLE TO BE APPROVED BY OWNER AND ARCHITECT. PROVIDE R-38 INSULATION WITH VAPOR BARRIER IN ALL ROOF AREAS.



TOP OF NEW RIDGE
EL: 28'-3 1/8"

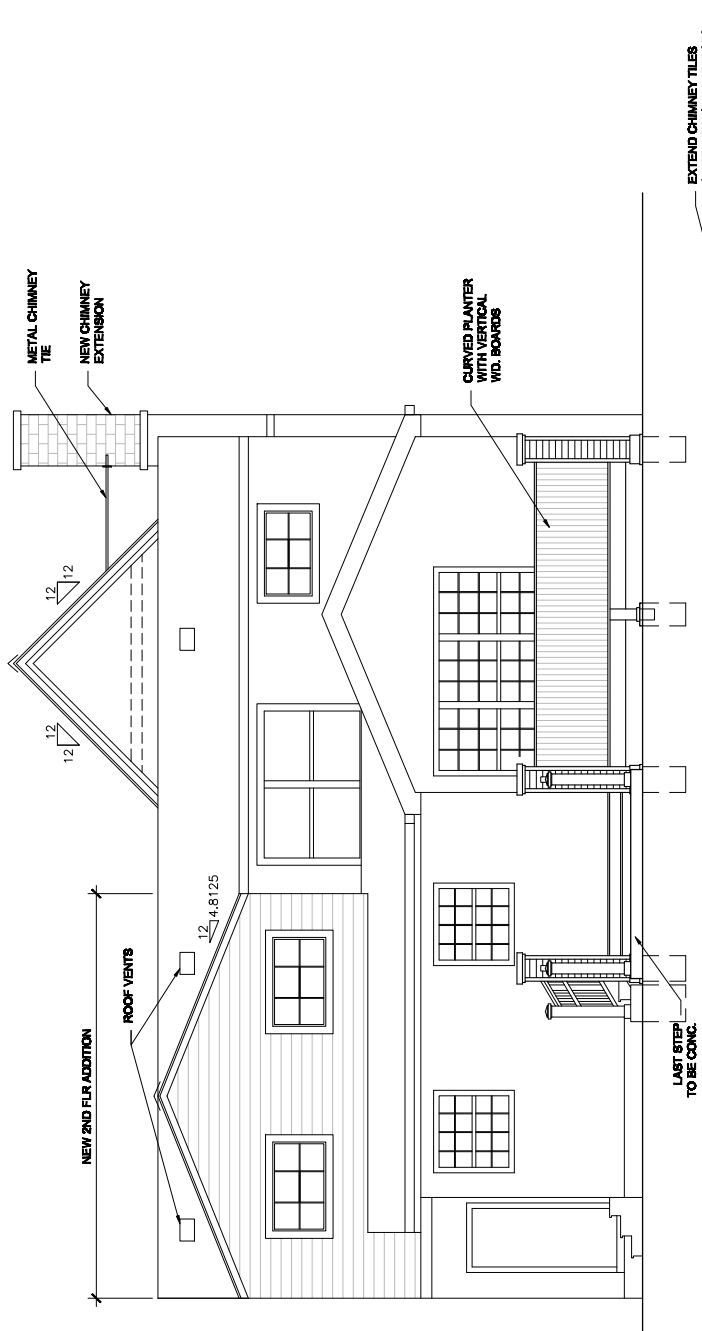
TOP OF EXIST. RIDGE
EL: 21'-8 3/8"

TOP OF MASTER BED
EL: 10'-9"

TOP OF FIRST FLOOR
EL: 1'-9"
TOP OF GRADE
EL: 0'-0"

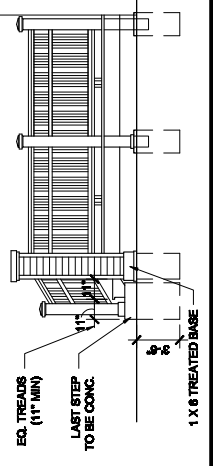
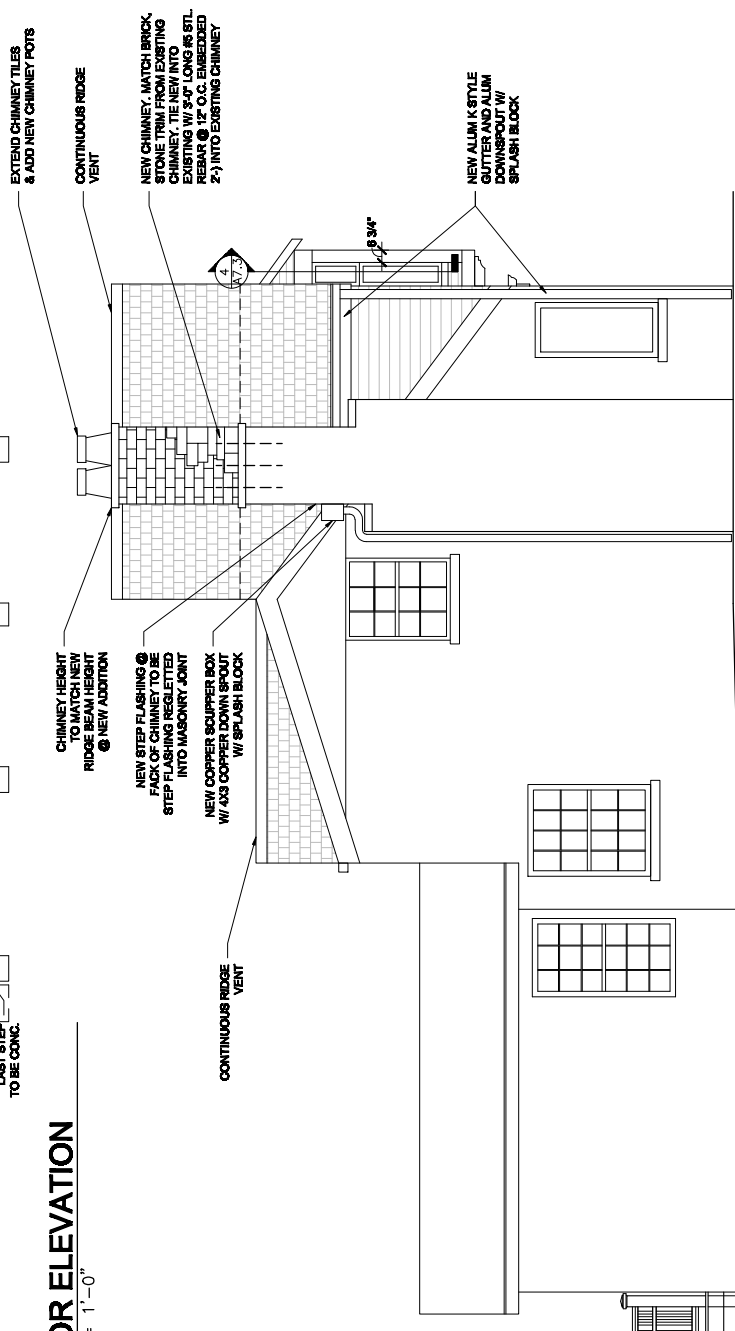
BEDROOM 2ND FLOOR

1 EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"

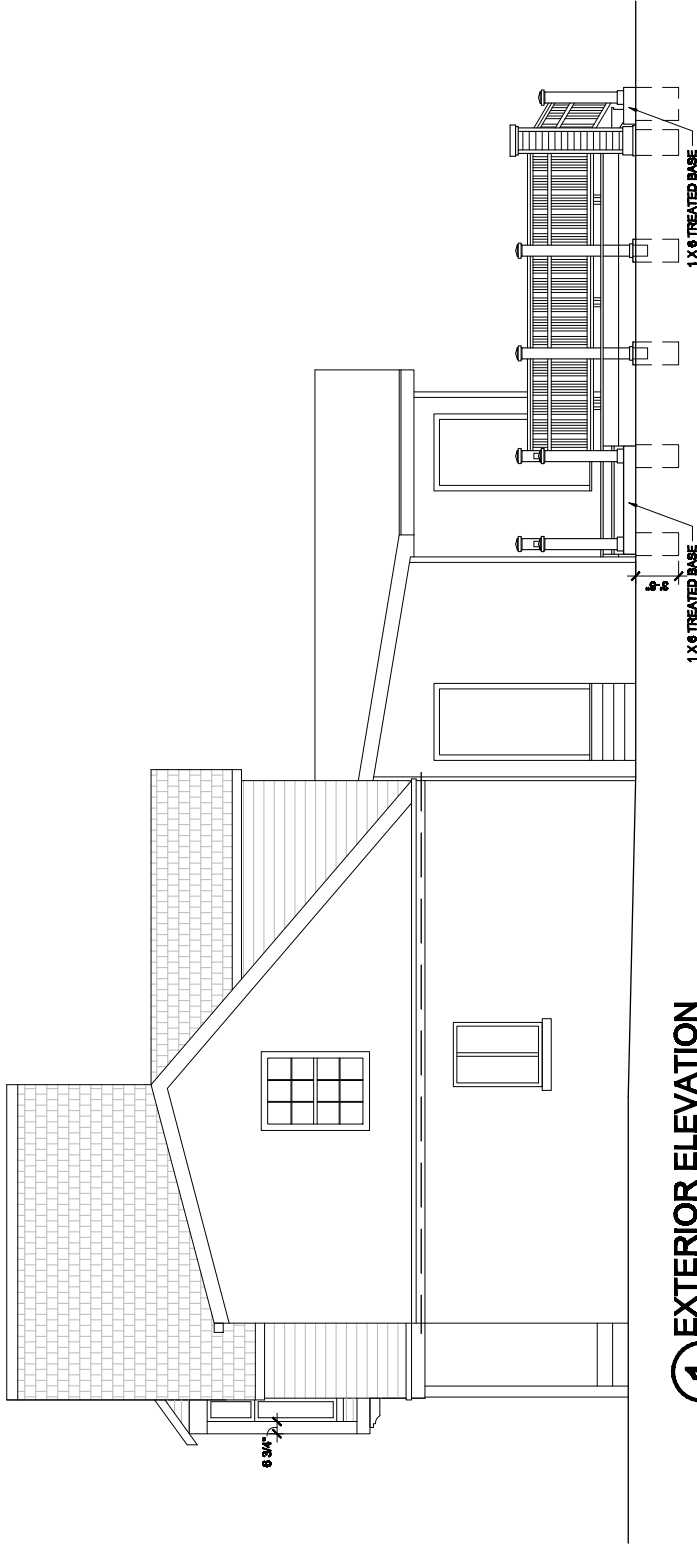


NON CORROSIVE METAL FLASHING TO EXTEND UP WALL 6" (MIN) BUILDING PAPER TO LAP ON TOP OF FLASHING 6" (MIN)

1 EXTERIOR ELEVATION
 SCALE: 1/4" = 1'-0"



2 EXTERIOR ELEVATION
 SCALE: 1/4" = 1'-0"



1 EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"

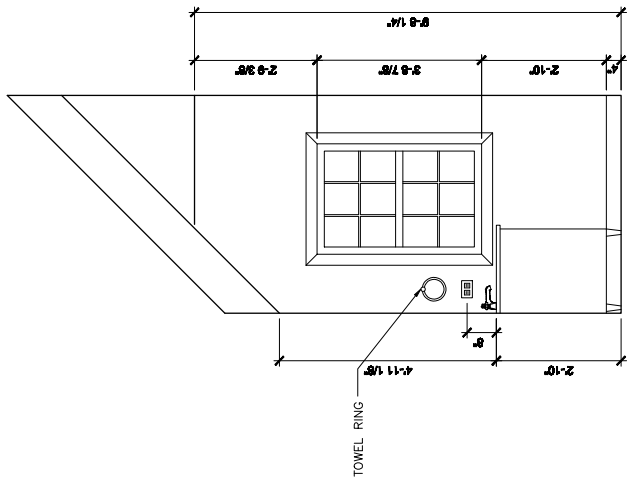
JK A
JOHN KELLY ARCHITECTS
 SUITE 1004
 CHICAGO, IL 60625
 TEL: 773-554-5073
 FAX: 773-554-6863

MCHESSNEY
 6712 N BRUX
 CHICAGO, IL 60646

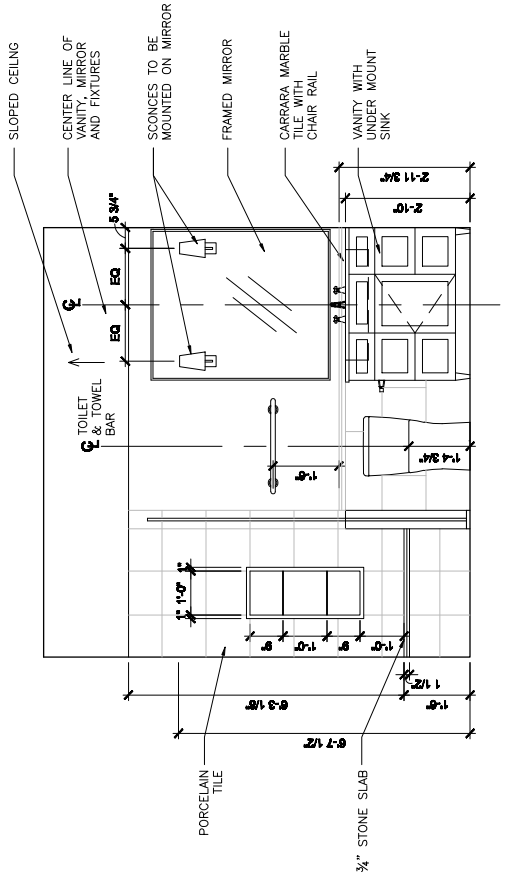
EXTERIOR ELEVATION

BD SET 9-22-12

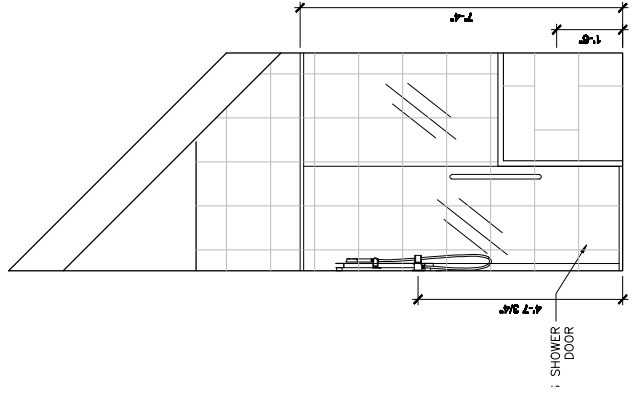
A4.2



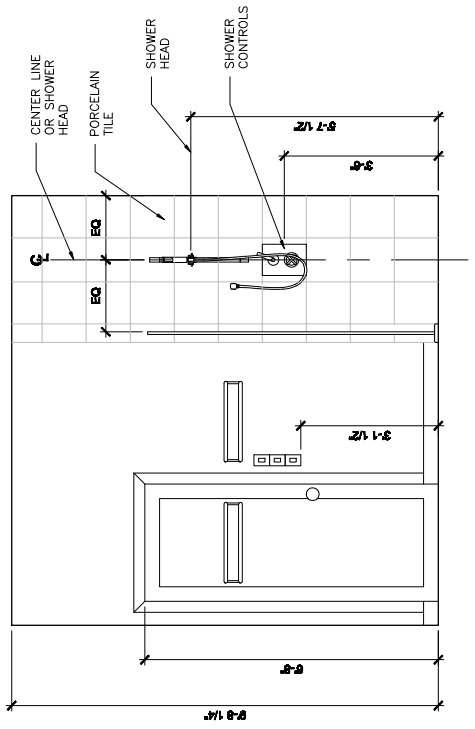
1 MASTER BATH
 SCALE: 1/2" = 1'-0"



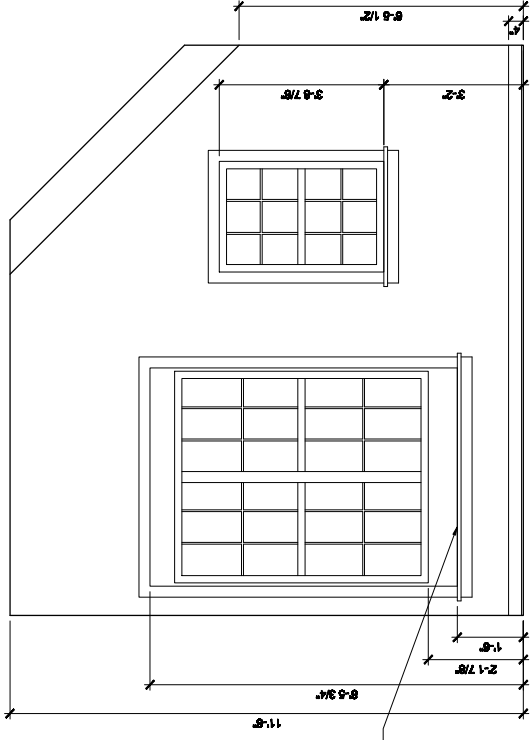
2 MASTER BATH
 SCALE: 1/2" = 1'-0"



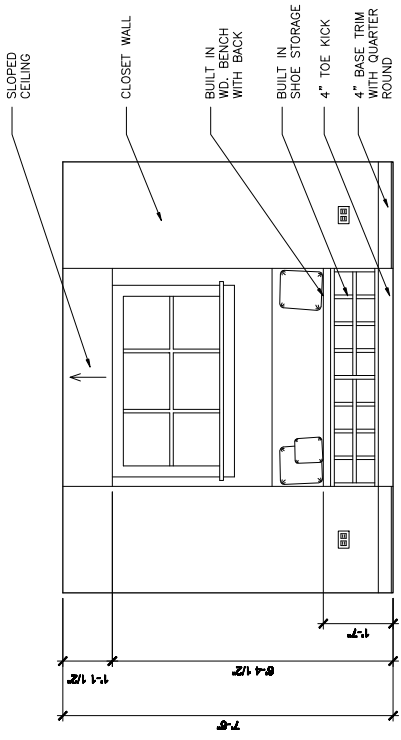
3 MASTER BATH
 SCALE: 1/2" = 1'-0"



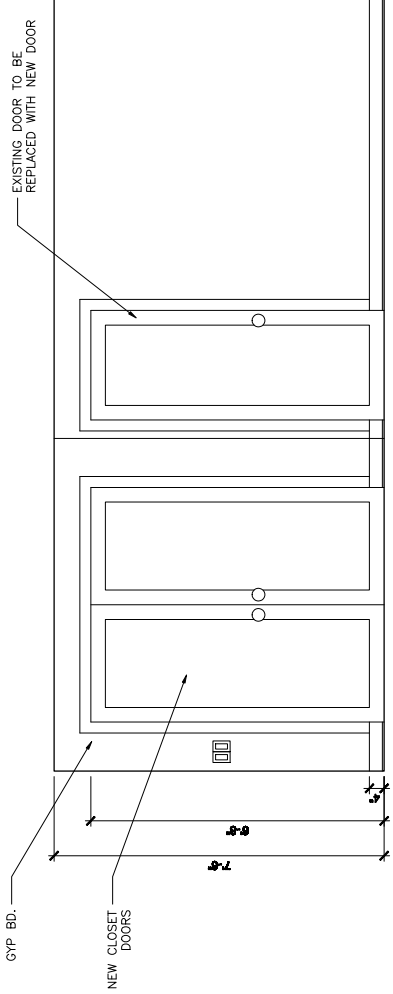
4 MASTER BATH
 SCALE: 1/2" = 1'-0"



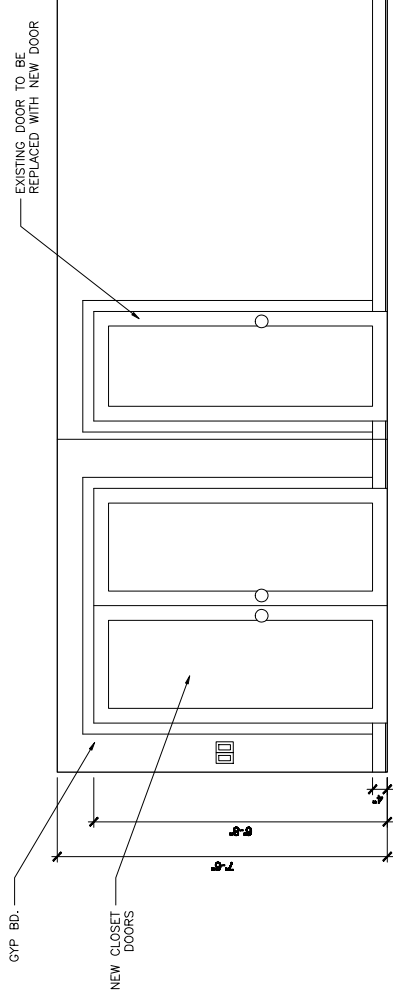
2 BAY WALL ELEV.
 SCALE: 1/2" = 1'-0"



1 WINDOW BENCH
 SCALE: 1/2" = 1'-0"



3 BEDROOM 201
 SCALE: 1/2" = 1'-0"



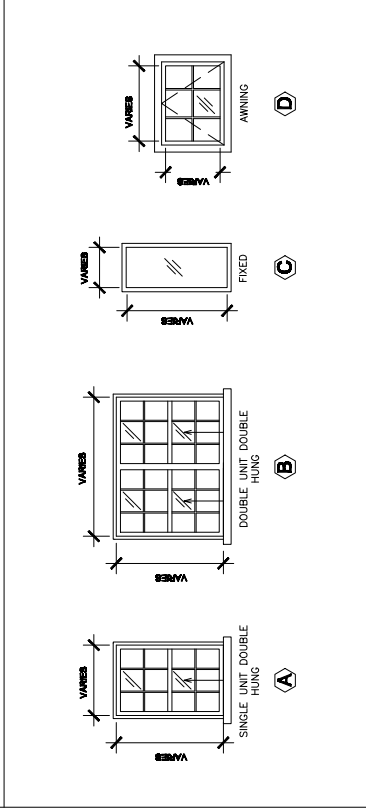
1 BEDROOM 200
 SCALE: 1/2" = 1'-0"

SECOND FLOOR - ROOM FINISH SCHEDULE

Rm. No.	Rm. Name	Floor	Wall	Ceiling	Base Trim	Crown Trim	Remarks
200	BEDROOM	WOOD	DRYWALL	DRYWALL	SEE TYP. DETAIL	-	
201	BEDROOM	WOOD	DRYWALL	DRYWALL	SEE TYP. DETAIL	-	
202	MASTER BEDROOM	WOOD	DRYWALL	DRYWALL	SEE TYP. DETAIL	-	
203	BATHROOM	NIC	TILE/DRYWALL	NIC	SEE TYP. DETAIL	-	
204	MASTER BATHROOM	TILE	TILE/DRYWALL	DRYWALL	SEE TYP. DETAIL	-	
205	HALLWAY	CARPET	DRYWALL	DRYWALL	SEE TYP. DETAIL	-	

- NOTES:**
- 1) REINFORCED GYPSUM BOARD CORNERS TO BE USED
 - 2) 5/8" WATER RESISTANT GYPSUM BD. & NON-CORROSIVE METAL HANGERS TO BE USED AT ALL WET LOCATIONS (KITCHEN, BATHRM, TOILET)
 - 3) ALL RETURN AND SUPPLY DIFFUSERS TO BE WOOD VERIFY WITH OWNER AND ARCHITECT
 - 4) ALL INTERIOR SWING DOORS TO HAVE WOOD OR METAL THRESHOLDS WHEN FLOORING CHANGES. VERIFY WITH OWNER AND ARCHITECT
 - 5) SEE DOOR SCHEDULE FOR EXTERIOR DOOR THRESHOLDS AND HARDWARE.
 - 6) ALL GYPSUM BOARD AT WALLS ARE TO BE 3/8" UNLESS NOTED OTHERWISE.
 - 7) ALL WINDOW, DOOR, CEILING CROWN MOLD, AND BASE TRIM TO BE PAINTED POPULAR (WOOD)
 - 8) VERIFY ALL PAINT COLORS WITH OWNER.
 - 9) ALL DRYWALL RETURNS SUBMITTING TO HAVE PLASTIC TEAR OFF BEADS
 - 10) SEE DETAIL 8 SHEET A7.8 FOR TYP. BASE TRIM
 - 11) ALL EXISTING WOOD FLOORS TO BE SANDED AND REFINISHED

WINDOW TYPES



- NOTES:**
1. ALL UNITS ARE TO HAVE LOW E INSULATED GLASS W/ ARGON GAS AND UV PROTECTION
 2. ALL WINDOW TRIM TO BE EXTERIOR CLAD. VERIFY INTERIOR FINISH WITH OWNER & ARCHITECT.
 3. ALL WINDOW TRIM AT NEW WINDOWS TO HAVE WOOD TRIM TO MATCH EXISTING.
 4. ALL INTERIOR WOOD TRIM AT REPLACEMENT WINDOWS TO BE NEW TO MATCH EXISTING.
 5. VERIFY ALL OPENINGS IN FIELD BEFORE ORDERING WINDOWS. CONFIRM ORDERS W/ ARCHITECT AND OWNER
 6. SEE FLOOR PLANS AND ELEVATIONS FOR NUMBER OF WINDOW UNITS IN EACH OPENING
 7. ANY GLASS WINDOWS OR DOORS CLOSER THAN 2'-1" TO THE FLOOR MUST HAVE TEMPERED GLASS
 8. ALL OPERABLE WINDOWS AND DOORS TO HAVE PELLA VIVID VIEW SCREENS.
 9. HARDWARE TO BE ANDERSON; CONTEMPORARY FOLDING HARDWARE, SATIN NICKEL.
 10. ALL NEW STAIRWAY WINDOWS ARE TO BE TEMPERED GLASS.
 11. ALL CASEMENT WINDOWS TO BE OUTSING WITH SCREEN AT INTERIOR SIDE.
 12. SEE EXTERIOR ELEVATIONS FOR ALL DIVIDED LIGHT PATTERNS.
 13. ALL GLAZING IN SWINGING DOORS REQUIRES SAFETY GLAZING WITH THE EXCEPTION OF JALOUSIE GLASS, DECORATIVE GLASS, AND GLASS OPENINGS IN DOORS WHERE A 3 INCH SPHERE IS UNABLE TO PASS.
 14. ALL FIXED ANDERSON WINDOWS TO HAVE A U VALUE OF .29.
 15. ALL VENT ANDERSON WINDOWS TO HAVE A U VALUE OF .34.
 16. ALL WINDOW MEASUREMENTS ARE FRAMING, NOT ROUGH OPENING.

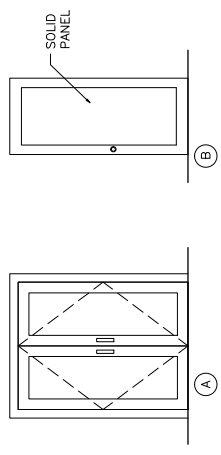
SECOND FLOOR WINDOW SCHEDULE

KEY	MAKE	LOCATION	TYPE	UNIT WIDTH (ROUGH)	UNIT HEIGHT (ROUGH)	MODEL #	GLASS AREA (SQ. FT.)	VENT AREA (SQ. FT.)	U-FACTOR	INT. FINISH	EXT. FINISH	TYPE	REMARKS
200	ANDERSON	MASTER BATHROOM	DOUBLE HUNG	2'-2 1/8"	3'-4 7/8"	WDH2436	5.73	3.30	.34	PINE	WHITE VINYL	A	
201	ANDERSON	MASTER BEDROOM	CASEMENT	1'-1 3/4"	5'-9 1/4"	CUSTOM	4.42	-	.29	PINE	WHITE VINYL	C	STATIONARY
202	ANDERSON	MASTER BEDROOM	DOUBLE HUNG	(2) UNITS @ 2'-2 1/8" EACH TOTAL RO = 4'-4 1/4"	5'-9 1/4"	(2) WDH20410	(2) 6.84	(2) 4.0	.34	PINE	WHITE VINYL	B	
203	ANDERSON	MASTER BEDROOM	CASEMENT	1'-1 3/4"	5'-9 1/4"	CUSTOM	4.42	-	.29	PINE	WHITE VINYL	C	STATIONARY
204	ANDERSON	MASTER BEDROOM	DOUBLE HUNG	2'-2 1/8"	3'-4 7/8"	WDH2436	5.73	3.30	.34	PINE	WHITE VINYL	A	
205	ANDERSON	MASTER BATHROOM	FIXED SKYLIGHT	1'-2"	2'-0"	CUSTOM	2.33	-	.29	PINE	WHITE VINYL	C	
206	ANDERSON	BEDROOM 200	AWNING	4' - 0 1/2"	2' - 4 7/8"	AW41	7.2	2.0	.34	PINE	WHITE VINYL	D	VENTING
207	ANDERSON	BEDROOM 201	AWNING	4' - 0 1/2"	2' - 4 7/8"	AW41	7.2	2.0	.34	PINE	WHITE VINYL	D	VENTING

HARDWARE SCHEDULE

- #1 BEDROOM AND BATHROOM DOORS
 - FUNCTION: PRIVACY LOCK
 - "BALDWIN" TEMPORARY SERIES KNOB #5415.050
 - SQUARE BRASS HINGES BY "BALDWIN"
 - DOOR STOP - "BALDWIN" # 4045.050
 - BRUSHED CHROME FINISH FOR ALL.
- #2 CLOSETS
 - FUNCTION: PASSAGE
 - "BALDWIN" TEMPORARY SERIES KNOB #5415.050
 - SQUARE MORTISE BRASS HINGES BY "BALDWIN"
 - DOOR STOP - "BALDWIN" # 4045.050
 - BRUSHED CHROME FINISH FOR ALL.
- #3 CLOSET (DOUBLE DOORS)
 - FUNCTION: DUMMY PULL
 - "BALDWIN" TEMPORARY SERIES KNOB #5415.050
 - SQUARE MORTISE BRASS HINGES BY "BALDWIN"
 - DOOR STOP - "BALDWIN" # 4045.050
 - MAGNETIC CATCH AT DOOR HEAD
 - BRUSHED CHROME FINISH FOR ALL EXCEPT AT BASEMENT. BASEMENT HARDWARE TO BE POLISHED BRASS.

DOOR TYPES



NOTES:

- 1) THRESHOLDS - WOOD THRESHOLDS AT TRANSITIONS BETWEEN FLOOR MATERIAL AT EXTERIOR DOORS USE METAL THRESHOLDS WITH SWEEPS.
- 2) WEATHERSTRIPPING TO BE USED AT ALL EXTERIOR DOORS.
- 3) FOR DOOR HARDWARE SEE CORRESPONDING DOOR HARDWARE # IN DOOR HARDWARE SCHEDULE.
- 4) EVERY GLASS DOOR IS TO BE TEMPERED GLASS. PROPERLY IDENTIFIED SAFETY GLAZING MUST BE USED AT ALL HAZARDOUS LOCATIONS (I.E. STORM DOORS, TUB & SHOWER ENCLOSURES, ETC.)
- 5) ALL DOOR PULLS TO BE APPROVED BY OWNER.
- 6) CONTRACTOR TO CONFIRM WITH OWNER/ARCHITECT PRIOR TO ORDERING DOOR, HARDWARE ETC.
- 7) ALL HINGES TO BE HEAVY DUTY FULL MORTISE HINGES.
- 8) INSTALL DOOR HARDWARE PER MANUFACTURER'S INSTRUCTION
- 9) ALL EXTERIOR DOORS AND WINDOWS TO BE CLADDED ON THE OUT SIDE & PRIMED ON THE INSIDE.
- 10) PROVIDE DOOR STOP FOR ALL DOORS
- 11) ALL DOOR CASINGS FOR EXISTING OPENINGS ARE TO BE REUSED. REPAIR ALL DAMAGED AREAS AS REQUIRED.
- 12) ALL DOOR CASINGS FOR NEW DOORS TO MATCH TYPICAL EXISTING CASINGS IN SIZE AND PROFILE.
- 13) ALL EXTERIOR DOORS TO HAVE OUTSWINGING LAURENCE SCREEN AND STORM DOOR.
- 14) ALL DOORS ARE TO HAVE (TEMPERED) AND INSULATED LOW E GLASS.
- 15) GLASS IN WINDOW LOWER THAN TWO FEET TO HAVE TEMPERED GLAZING.

ABBREVIATIONS:

- 1) THRESHOLDS - METAL OR WOOD THRESHOLDS AT TRANSITIONS BETWEEN FLOOR MATERIALS.
- 2) ALL GLASS DOOR ARE TO BE TEMPERED GLASS.
- 3) SC = SOLID CORE
- 4) HC = HOLLOW CORE
- 5) SL = SIDE LIGHT

SECOND FLOOR - DOOR SCHEDULE

KEY	LOCATION	WIDTH	HEIGHT	THICKNESS	MFR.	CORE	MATERIAL	FINISH	HARDWARE	STYLE OR MODEL #	HR. RATING	CASING	REMARKS
200	MASTER BATHROOM	32"	80"	1 3/4"	SIMPSON		DOUGLAS FIR	STAIN	#1	1 RECESSED FLAT PANEL #20	-	MATCH EXISTING	
201	MASTER BEDROOM	30"	80"	1 3/4"	SIMPSON		DOUGLAS FIR	STAIN	#1	1 PANEL #N3-11	-	MATCH EXISTING	
202	MASTER BEDROOM	(2) 28"	78"	1 3/4"	SIMPSON		DOUGLAS FIR	STAIN	#3	1 PANEL #N3-11	-	MATCH EXISTING	
203	MASTER BEDROOM	(2) 28"	78"	1 3/4"	SIMPSON		DOUGLAS FIR	STAIN	#3	1 RECESSED FLAT PANEL #20	-	MATCH EXISTING	
204	HALLWAY	VERIFY	80"	1 3/4"	SIMPSON		DOUGLAS FIR	STAIN	#2	1 RECESSED FLAT PANEL #20	-	MATCH EXISTING	CUSTOM
205	BEDROOM 201	30"	80"	1 3/4"	SIMPSON		DOUGLAS FIR	STAIN	#1	1 RECESSED FLAT PANEL #20	-	MATCH EXISTING	
206	BEDROOM 201	(2) 32"	VERIFY	1 3/4"	SIMPSON		DOUGLAS FIR	STAIN	#3	1 PANEL #N3-11	-	MATCH EXISTING	
207	BEDROOM 200	(2) 32"	VERIFY	1 3/4"	SIMPSON		DOUGLAS FIR	STAIN	#3	1 PANEL #N3-11	-	MATCH EXISTING	
208	BATHROOM	27"	80"	1 3/4"	SIMPSON		DOUGLAS FIR	STAIN	#1	1 RECESSED FLAT PANEL #20	-	MATCH EXISTING	

LIGHT-VENT SCHEDULE PER ROOM						
ROOM NUMBER	ROOM NAME	FLOOR AREA (SQ. FEET)	NATURAL LIGHT AREA (SQ. FT.)		NATURAL VENT AREA (SQ. FT.)	
			ACTUAL	REQUIRED 8%	ACTUAL	REQUIRED 4%
200	BEDROOM	230.94	32.53	18.48	17.2	9.24
201	BEDROOM	179.96	34.82	14.40	18.58	7.20
202	MASTER BEDROOM	303.85	51.6	24.31	25.31	12.15
203	BATHROOM	45.31	—	—	—	—
204	MASTER BATHROOM	48.29	8.06	3.86	3.3	1.93
205	HALLWAY	68.62	—	—	—	—

NOTES:

- ARTIFICIAL LIGHT SHALL BE PROVIDED THAT IS ADEQUATE TO PROVIDE AN AVERAGE ILLUMINATION OF 10 FOOT-CANDLES (107 LUX) OVER THE AREA OF THE ROOM AT A HEIGHT OF 30 INCHES ABOVE THE FLOOR LEVEL (IBC 1205.3) & SEE ELECTRICAL LIGHTING SCHEDULE, SHEET E4.0.
- SEE MECHANICAL VENT SCHEDULE.

BTU HEAT LOSS SCHEDULE						
FLOOR	ROOM NAME	ROOM NO.	FLR. AREA (SQ. FT.)	REQUIRED CFM	ACTUAL CFM	BTU HEATLOSS
SECOND FLOOR	BEDROOM	200	230.94			
	BEDROOM	201	179.96			
	MASTER BEDROOM	202	303.85			
	BATHROOM	203	45.31			
	MASTER BATHROOM	204	48.29			
	HALLWAY	205	68.62			

FOR SECOND AND THIRDFLR : MODEL #: CARRIER - PAV 090
1200 CFM, 88000 BTU INPUT, 71000 BTU OUTPUT

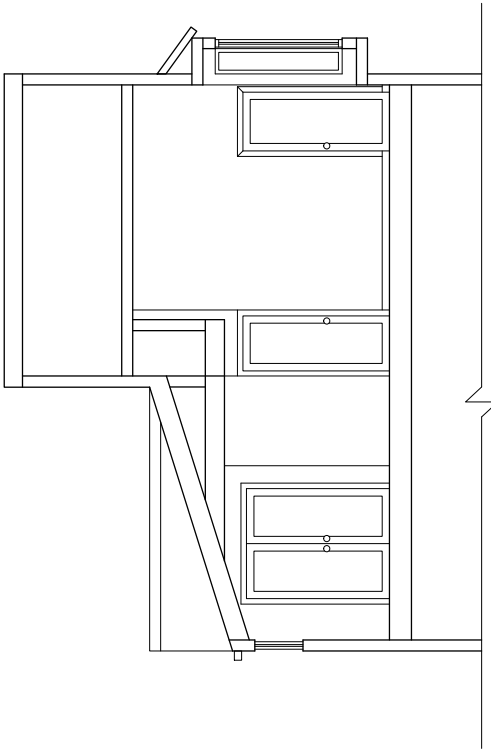
N.R. = NOT REQUIRED



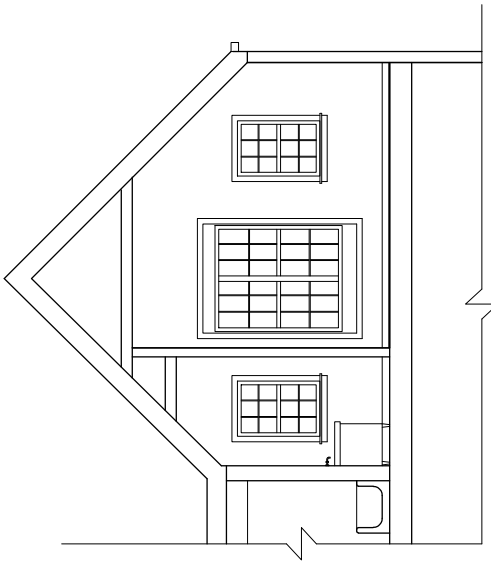
TOP OF NEW RIDGE
EL: 28'-3 1/8"

TOP OF EXIST. RIDGE
EL: 21'-8 3/8"

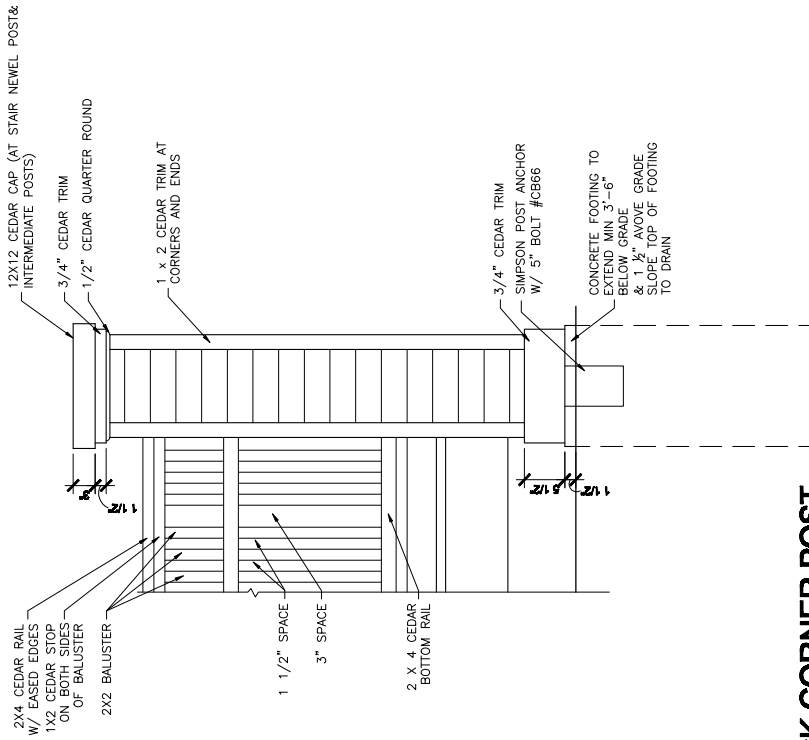
TOP OF MASTER BED
EL: 10'-9"



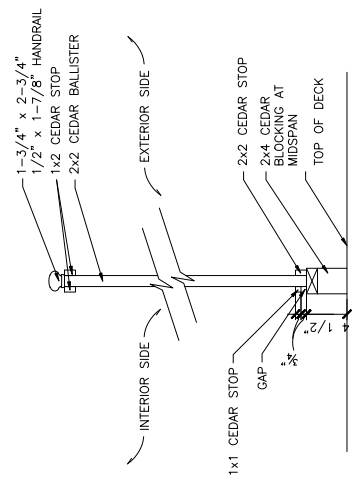
2 BUILDING SECTION
SCALE: 1/4" = 1'-0"



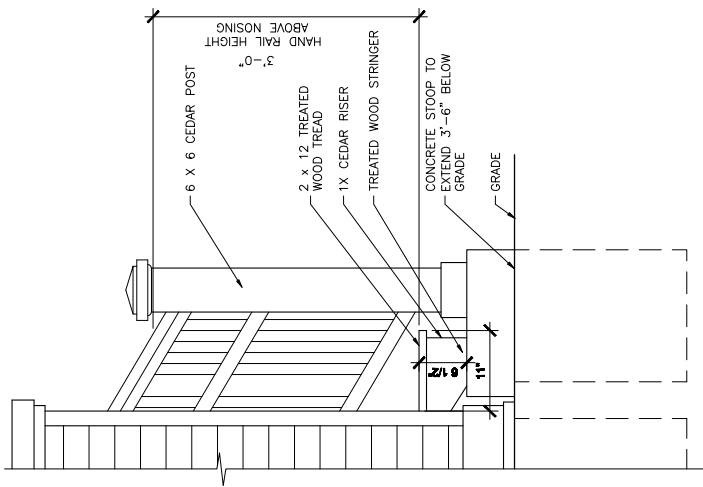
1 BUILDING SECTION
SCALE: 1/4" = 1'-0"



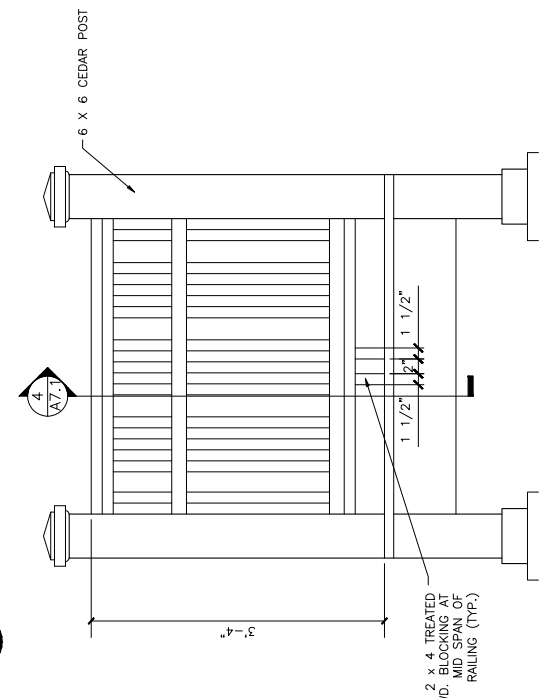
2 DECK CORNER POST
SCALE: 1" = 1'-0"



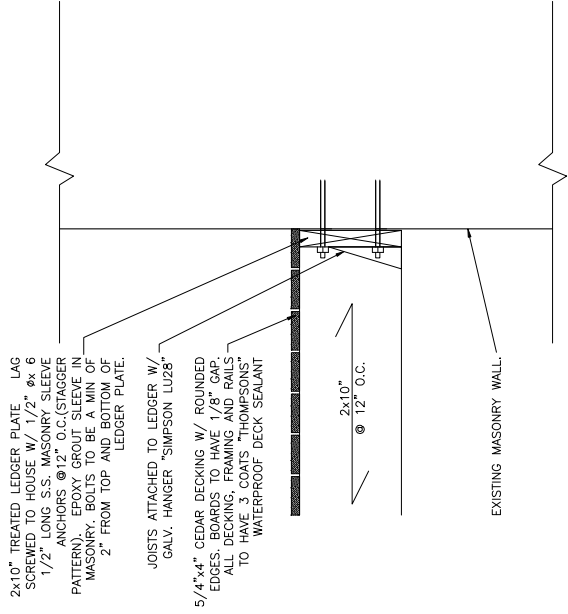
4 DECK RAILING
SCALE: 1" = 1'-0"



1 STAIR RAILING
SCALE: 1" = 1'-0"



3 DECK POST AND RAILING
SCALE: 1" = 1'-0"



2x10" TREATED LEDGER PLATE LAG SCREWED TO HOUSE W/ 1/2" Ø x 6 1/2" LONG S.S. MASONRY SLEEVE ANCHORS @ 12" O.C. (STAGGER PATTERN). EPOXY GROUT SLEEVE IN MASONRY. BOLTS TO BE A MIN OF 2" FROM TOP AND BOTTOM OF LEDGER PLATE.

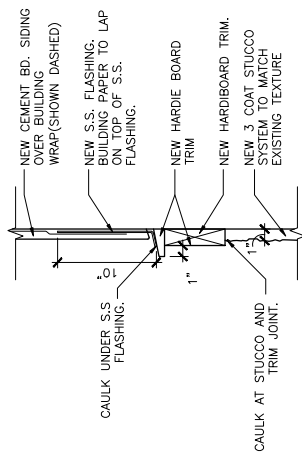
JOISTS ATTACHED TO LEDGER W/ GALV. HANGER "SIMPSON LU28"

5/4"x4" CEDAR DECKING W/ ROUNDED EDGES, BOARDS TO HAVE 1/8" GAP. ALL DECKING, FRAMING AND RAILS TO HAVE 3 COATS "SIMPSON'S" WATERPROOF DECK SEALANT

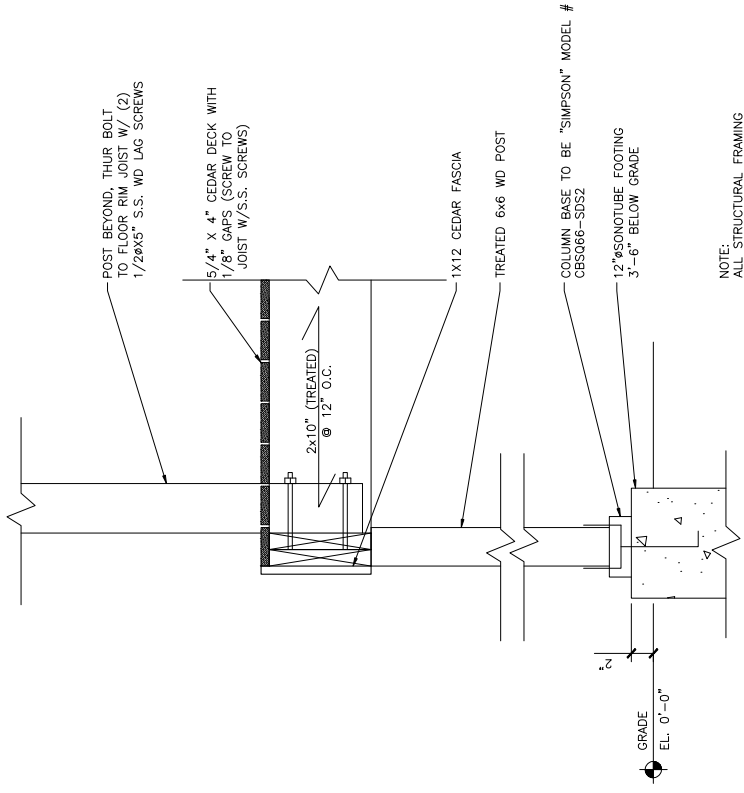
NOTE:

- 1) ALL EXPOSED WD. AT EXTERIOR TO BE CEDAR.
- 2) ALL CONCEALED STRUCTURAL FRAMING TO BE TREATED LUMBER

1 DECK TO HOUSE CONNECTION
SCALE: 1 1/2" = 1'-0"



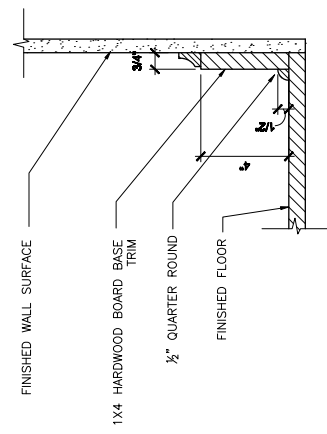
3 STUCCO - WD. TRIM DETAIL
SCALE: 1 1/2" = 1'-0"



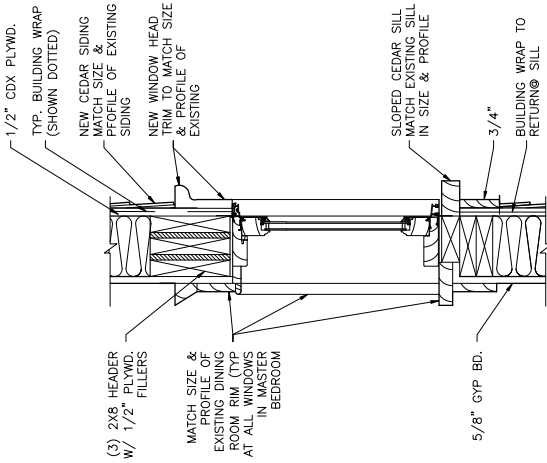
NOTE:

ALL STRUCTURAL FRAMING TO BE TREATED LUMBER. ALL FINISH WD TO BE CEDAR.

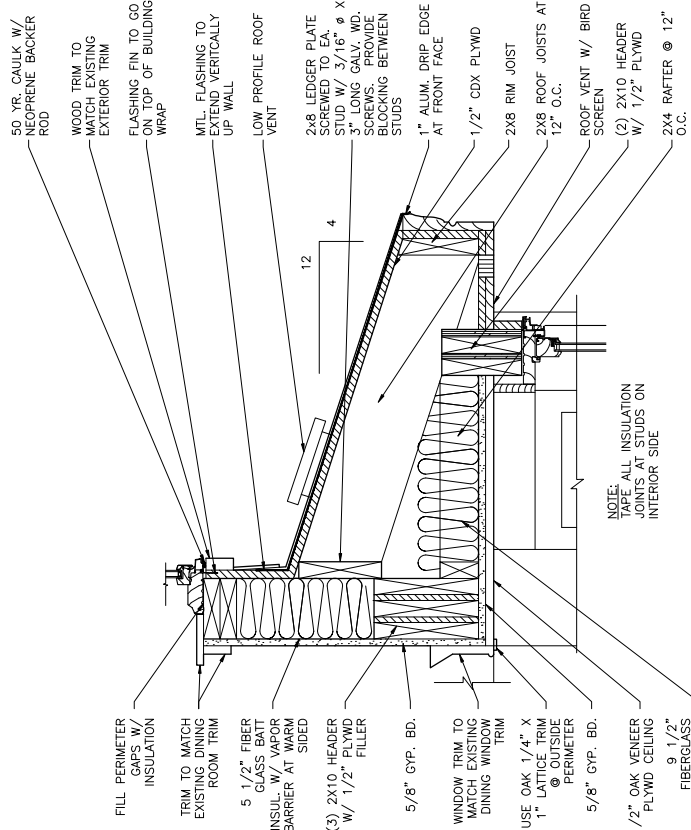
2 DECK FOUNDATION
SCALE: 1 1/2" = 1'-0"



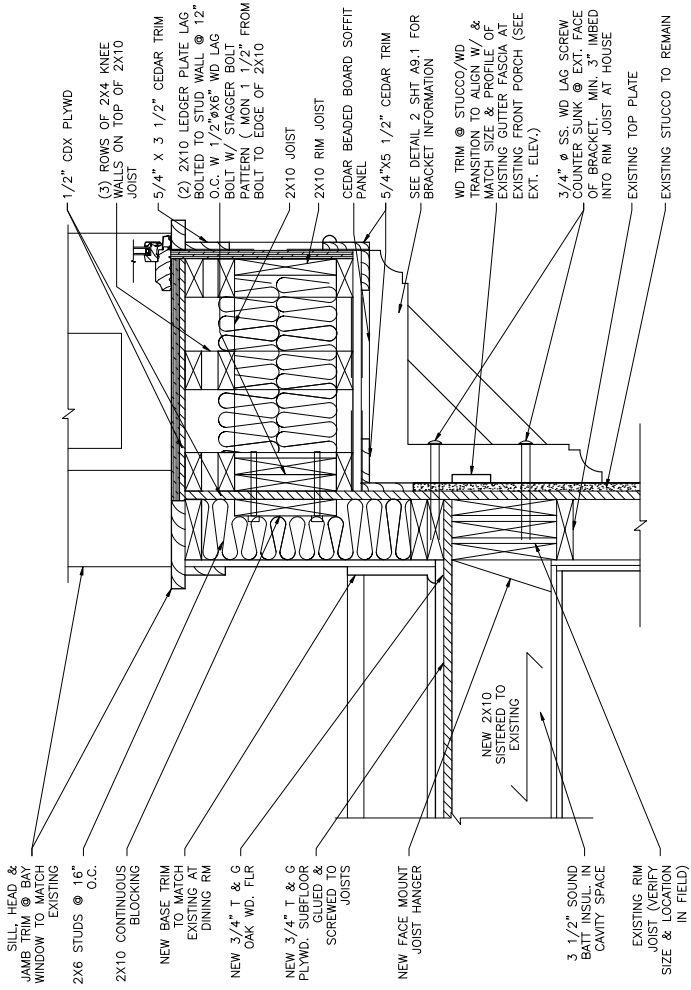
4 TYP. BASE TRIM
SCALE: 3" = 1'-0"



2 BAY WINDOW DETAIL
 SCALE: 1 1/2" = 1'-0"



3 BAY ROOF DETAIL
 SCALE: 1 1/2" = 1'-0"

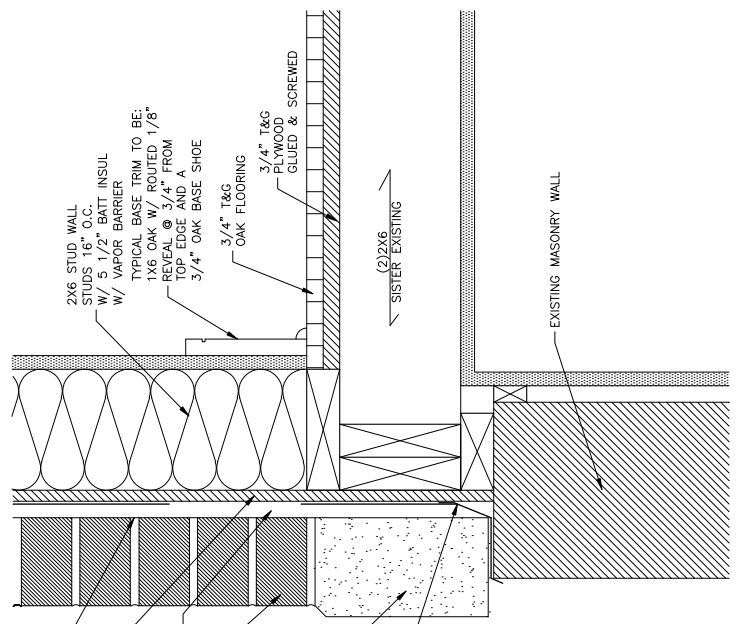


4 BAY FLOOR DETAIL
 SCALE: 1 1/2" = 1'-0"

(3) 2x8 HEADER W/ 1/2" PLYWD. FILLERS
 MATCH SIZE & PROFILE OF EXISTING DINING ROOM RM (TYP AT ALL WINDOWS IN MASTER BEDROOM)

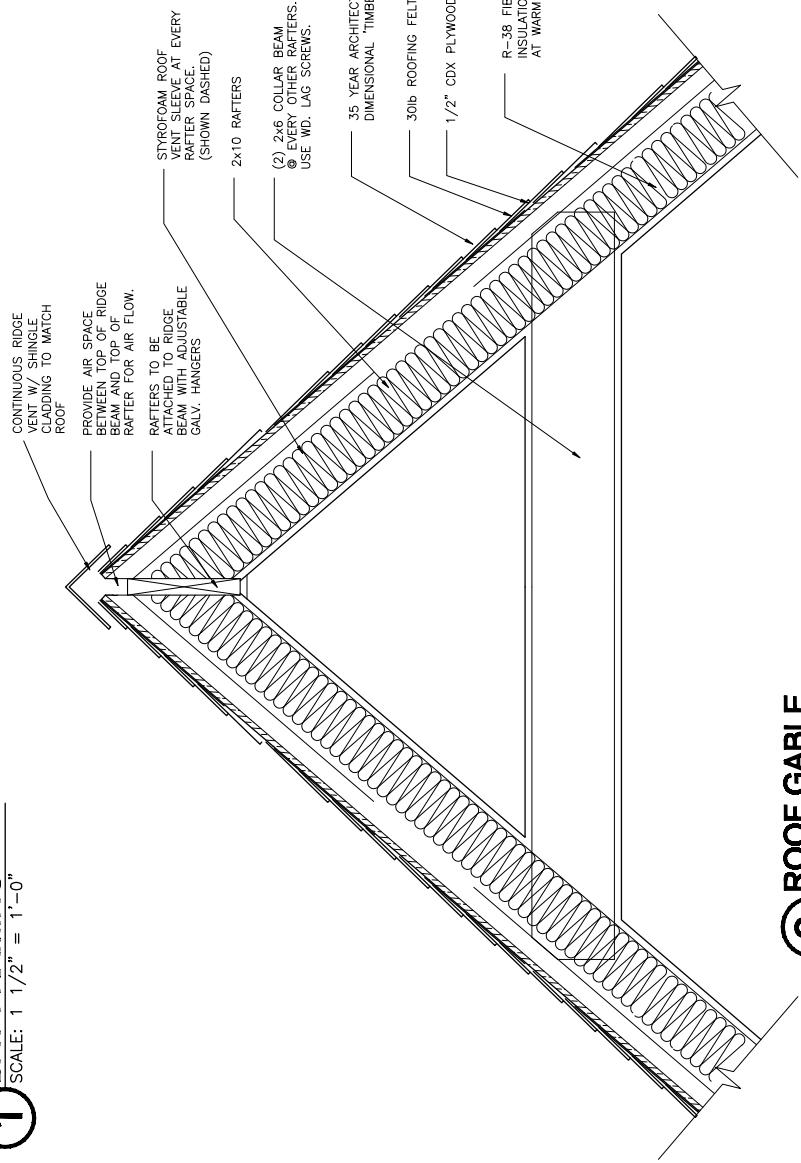
1 GABLE DETAIL AT EAVE
 SCALE: 1 1/2" = 1'-0"

NOTE: TAPE ALL INSULATION JOINTS AT STUDS ON INTERIOR SIDE

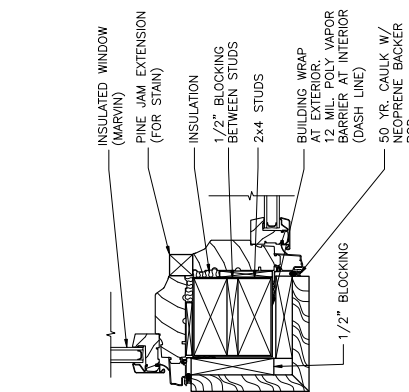


1 BAY FRAMING
 SCALE: 1 1/2" = 1'-0"

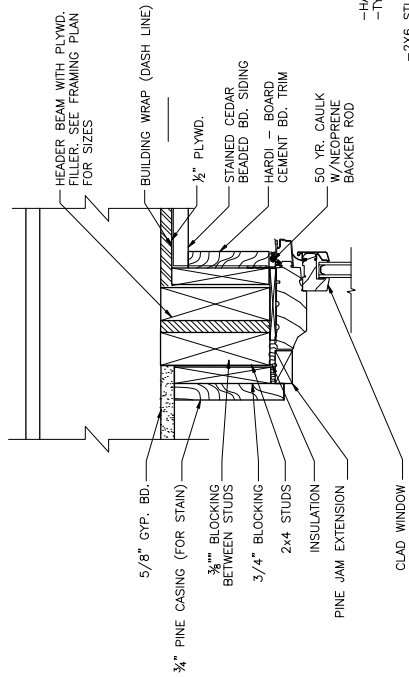
2 BRICK & EXISTING MASONRY
 SCALE: 3" = 1'-0"



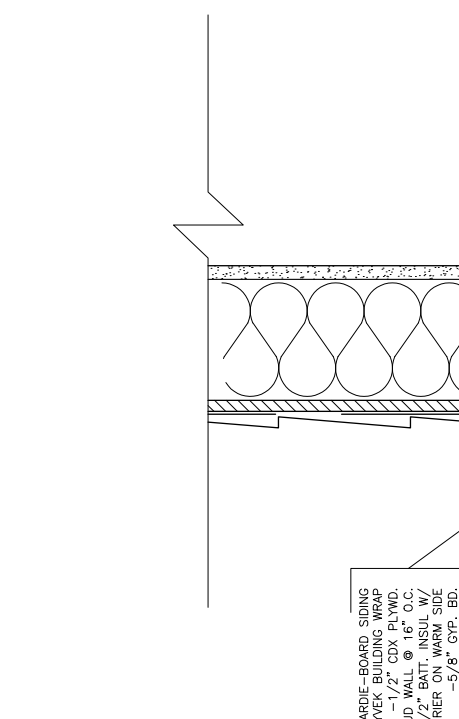
3 ROOF GABLE
 SCALE: 1 1/2" = 1'-0"



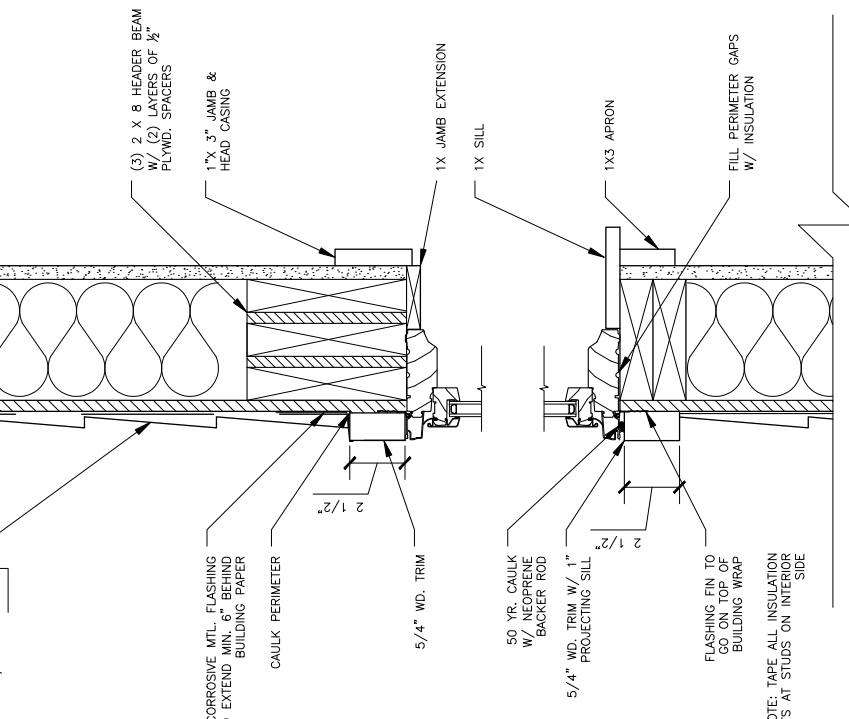
1 JAM DETAIL
SCALE: 3" = 1'-0"



2 HEAD DETAIL
SCALE: 3" = 1'-0"



3 HEAD & SILL DETAIL (2X4 WALL)
SCALE: 3" = 1'-0"



4 HEAD & SILL DETAIL (2X6 WALL)
SCALE: 3" = 1'-0"

1/4" STONE OR CERAMIC TILE TO BE MASTIC SET TO SUBFLOOR.

1 LAYERS OF 1/2" FIBERGLASS REINFORCED CEMENT BD. OVER (1) LAYERS OF 3/4" FIBERGLASS REINFORCED CEMENT BD. GLUE AND SCREW TOGETHER SUBFLOORS. USE S.S. SCREWS. GLUE SUBFLOOR TO WATERPROOF MEMBRANE. DO NOT MECHANICALLY FASTEN.

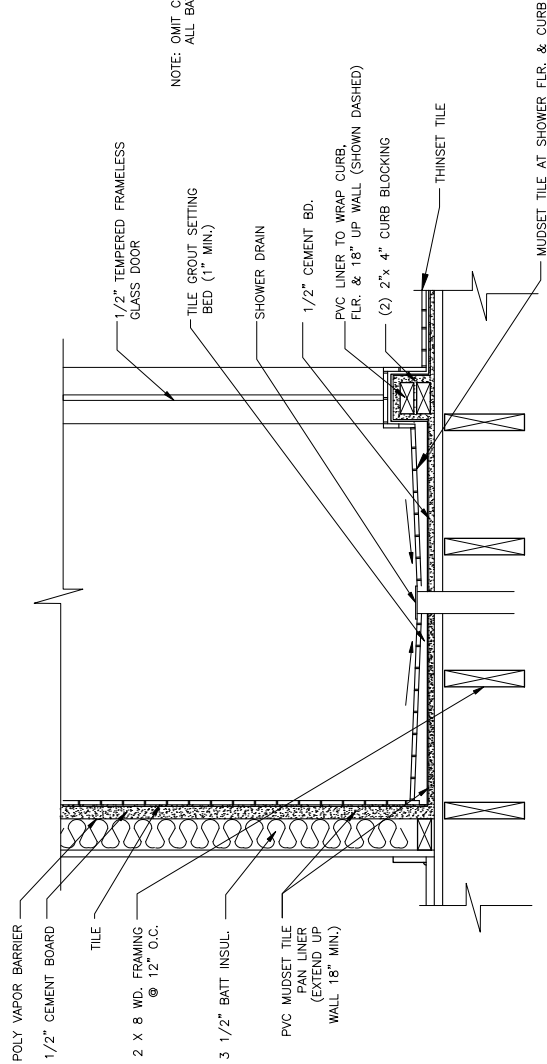
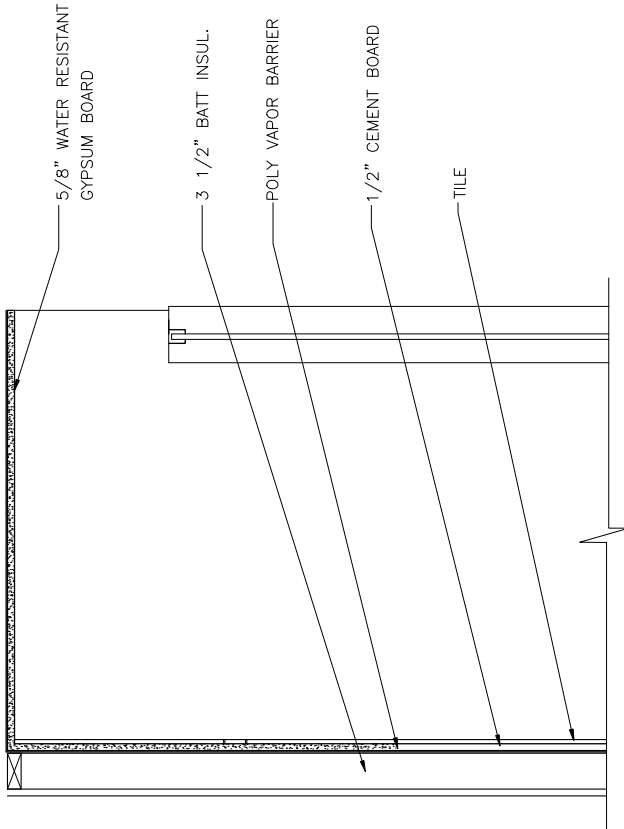
CONTINUOUS WATERPROOF MEMBRANE BY CR GRACE CO.

WOOD JOIST FRAMING

- NOTES:**
1. STONE OR TILE TO BE THINSET
 2. MASTIC, SPREAD 1/2" NOTCHED TROWEL, BETWEEN EACH LAYER OF CEMENT BD.
 3. GROUT TO BE EPOXY GROUT AT ALL LOCATIONS. VERIFY COLOR WITH ARCHITECT.
 4. PROVIDE 1/4" CLEAR CAULKING JOINT TO ALLOW FOR EXPANSION AT ALL INSIDE WALL CORNERS.

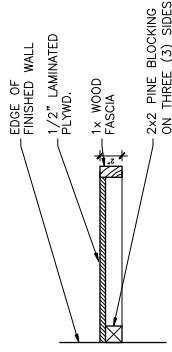
2 TILE FLOORING

SCALE: 3" = 1'-0"



1 SHOWER WITH ENTRY CURB

SCALE: 1 1/2" = 1'-0"

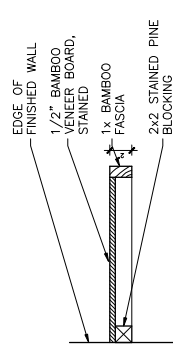


TYPICAL FOR ALL CLOSET SHELVING

- NOTE:**
1. PROVIDE INTERMEDIATE BLOCKING AT MIDSPANS OF SHELVING MORE THAN 3'-0" WIDE

3 SHELVING

SCALE: 1 1/2" = 1'-0"

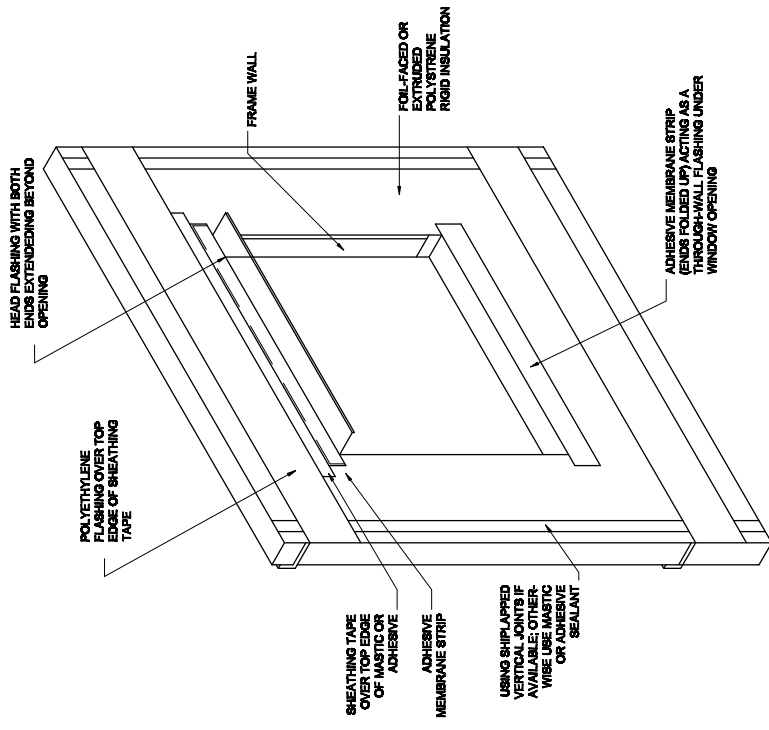


TYPICAL FOR ALL EXPOSED SHELVINGS

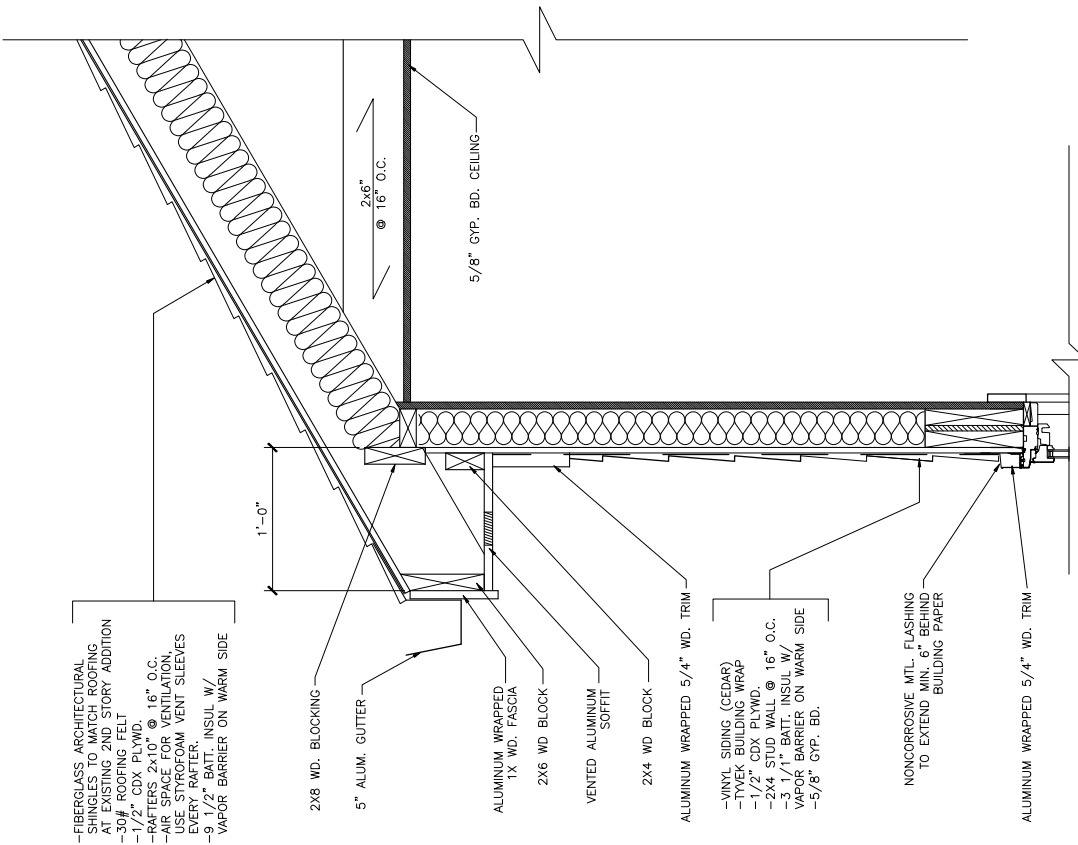
- NOTE:**
1. PROVIDE INTERMEDIATE BLOCKING AT MIDSPANS OF SHELVING MORE THAN 3'-0" WIDE

4 SHELVING

SCALE: 1 1/2" = 1'-0"



1 WINDOW/DOOR FLASHING
SCALE: 1/2" = 1'-0"



-FIBERGLASS ARCHITECTURAL SHINGLES TO MATCH ROOFING AT EXISTING 2ND STORY ADDITION
-30# ROOFING FELT
-1/2" CDX PLYWD.
-2x6 @ 16" O.C. INTERIOR STUD WALL
-AIR SPACE FOR VENTILATION. USE STYROFOAM VENT SLEEVES EVERY RAFTER.
-9 1/2" BATT. INSUL W/ VAPOR BARRIER ON WARM SIDE

-VINYL SIDING (CEDAR)
-TYEAK BUILDING WRAP
-1/2" CDX PLYWD.
-2X4 STUD WALL @ 16" O.C.
-3 1/1" BATT. INSUL W/ VAPOR BARRIER ON WARM SIDE
-5/8" GYP. BD.

2 EXTERIOR FRAMING
SCALE: 1 1/2" = 1'-0"

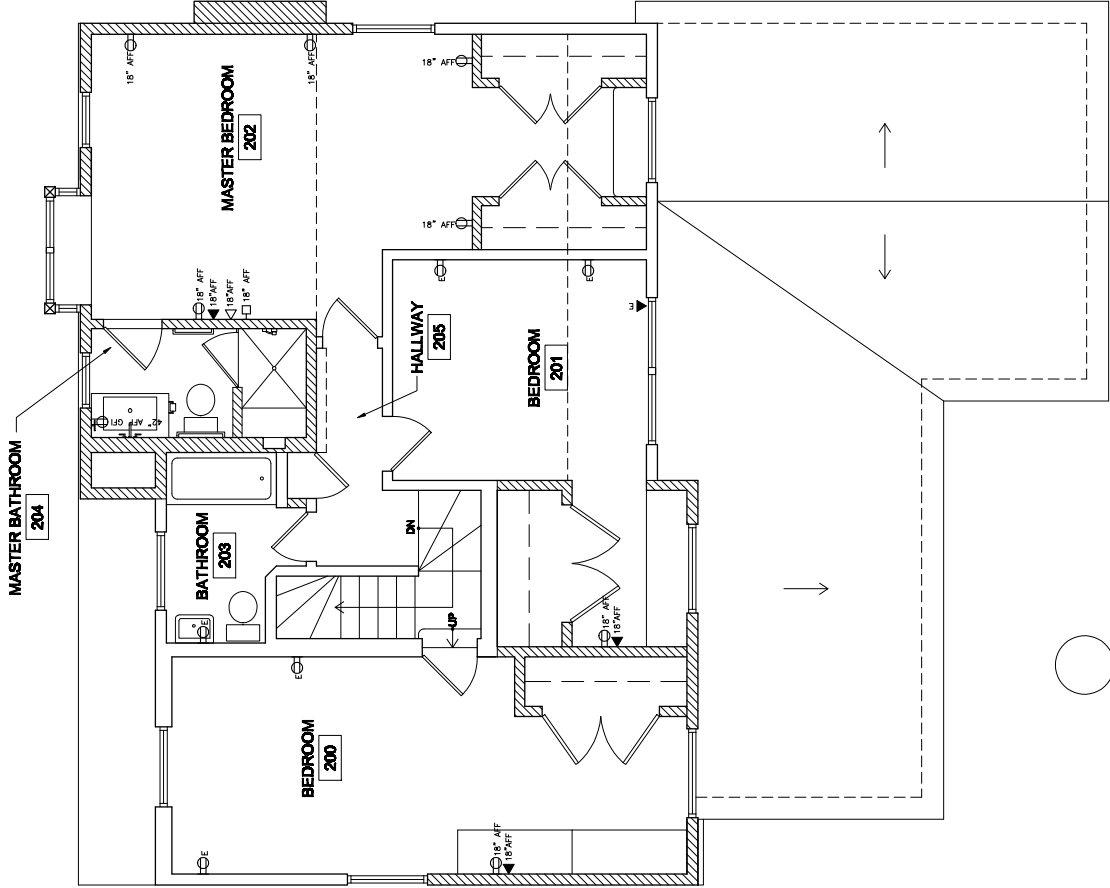
- NOTES**
- 1) ALL OUTLETS TO BE SPACED PER CITY OF CHICAGO BUILDING CODE.
 - 2) ALL KITCHEN, BATHROOM, EXTERIOR, AND OTHER WET LOCATION FIXTURE OUTLETS ARE TO BE GFI TYPE OUTLETS ALSO ALL OUTLETS IN THE BASEMENT MUST BE GFCI.
 - 3) ALL CLOSET AND SHOWER LIGHTS TO HAVE ACRYLIC LENS ENCLOSURES.
 - 4) ALL OUTLETS AND SWITCHES (ELEC., CABLE, & TV) TO BE LOCATED TO MATCH HEIGHT OF EXISTING OR 18" A.F.F. FOR OUTLETS AND 50" A.F.F. FOR SWITCHES.
 - 5) ALL DIMMER SWITCHES TO BE "LUTRON" TYPE. (VERIFY STYLE WITH OWNER.)
 - 6) ALL COVER PLATES FOR SWITCHES AND OUTLETS TO BE VERIFIED W/ARCHITECT
 - 7) ALL EXISTING EXPOSED CONDUITS AND TELEPHONE OUTLETS TO BE BURIED IN WALL OR REMOVED.
 - 8) ALL EXTERIOR OUTLETS TO BE W/ COVERS.
 - 9) POWER TO THE SMOKE DETECTORS MUST BE FROM THE BUILDING WIRING W/ BATTERY BACK-UP, INSTALLED PER CITY OF CHICAGO APPROVED CODE.
 - 10) IN BATHROOMS ALL OUTLETS, SWITCHES, TELEPHONE JACKS AND CABLE TV JACKS MUST BE AT LEAST 5'-0" HORIZONTALLY FROM THE EDGE OF THE SHOWER.
 - 11) ALL LIGHT FIXTURES OVER SHOWER OR WITHIN 5'-0" OF THE INSIDE WALL OF SAME, MUST BE GFCI CONTROLLED. IF THE LIGHT FIXTURE IS LESS THAN 7'-6" ABOVE SHOWER, THE LIGHT FIXTURE MUST BE SHOCKABLE INSULATED DAMP LOCATIONS. IT MUST ALSO BE RECESSED WITH A LENS AND NON-METALLIC TRIM RING.
 - 12) PROVIDE ARC-FAULT PROTECTION IN ALL BEDROOM OUTLETS
 - 13) GARBAGE DISPOSAL TO BE "BADGER 5" DISPOSAL W/ SEPARATE SHUT OFF SWITCH
 - 14) ALL SWITCHES ON DIMMERS, EXCEPT IN CLOSETS.
 - 15) PROVIDE SWITCHES NEXT TO BED FOR LIGHTS ABOVE THE BEDS IN ALL BEDROOMS

LEGEND

	DUPLEX OUTLET
	GFI DUPLEX OUTLET
	EXISTING DUPLEX OUTLET TO REMAIN
	PHONE JACK (CAT 6 WIRING)
	DATA
	CABLE

EXISTING WALLS

NEW WALLS



1 POWER PLAN
 SCALE: 1/4" = 1'-0"